



Memorandum

To: Marty Mosely
Cc: Planning Board members, Ray Burger
From: David Sprout, Planning Department
Subject: Site Plan Review - 1495 Dryden Road, Tax Parcel 52.-1-49.3
Date: April 12, 2018

United Auto Workers (UAW) Local 2300 is in the process of purchasing 1495 Dryden Road with plans to locate its office and meeting hall on the premises. Site plan Review approval is required. Tim Park, of Local 2300, met with the Planning Board on October 26 to introduce the project and gain feedback from the Board regarding site plan requirements.

The property is a 2.04-acre parcel in the Mixed Use Commercial Zoning District, approximately ½ mile east of NYSEG on Route 13, containing a 1200 square foot metal building and 288 square foot shed. An automobile detailing and battery sales business was the previous tenant of the currently vacant facility.

Changes to the principal structure include two small additions (600 square feet and 216 square feet) and brick veneer on the lower portion of the building. Earlier discussions suggested the building would be clad with vinyl siding and brick veneer but the building plans show brick veneer and metal siding. The existing shed will be demolished or removed. No dumpsters or other outside storage is proposed.

Two existing pole mounted lights illuminate the property. One wall mounted light is shown on the larger addition. Sixteen parking spaces, including two handicapped spaces, are proposed. A two-sided vee shaped business sign is proposed as well as an 'enter' sign on the west driveway and an 'exit' sign on the eastern driveway. [The enter/exit signs were required by NYSDOT when the driveway/work permit was issued in 1999. It seems they were never installed.]

Eleven Burning Bush shrubs on the Rt. 13 side of the detention basin. Burning Bush or Winged Euonymus, species name -Euonymus Alata, family-Celastraceae is a regional invasive.

Certain maps suggest a stream runs through the property. In reality, water is directed from behind the existing buildings to a narrow channel running along the western edge of the property. Approximately 60' from Rt. 13 the channel disappears. At that point, water sheet flows to the Rt. 13 drainage ditch. A large detention basin is located between the two driveways. The basin captures, or is intended to capture, most runoff from the developed portion of the property. A stormwater management plan, consistent with Town law, is included on the site map.

The expansion of a non-residential structure or facility involving less than 4000 square feet of gross floor area is a listed Type II action (6NYCRR 617 §617.5(c)(7)) subject to SEQR review exemption status.

Tompkins County Planning is in receipt of the SPR application. We anticipate a response well ahead of the Planning Board's April 26 meeting.

The adaptive re-use of existing buildings/properties is strongly desirable and encouraged. Typically, new business groups that re-use existing sites do not require full SPR since the performance of the site has already been established. To the extent practicable, the Town's commercial guidelines have been addressed. Given the detailed site plan map provided, the Planning Department recommends waiving full SPR but require that non-invasive shrubs replace the proposed Burning Bush shrubs.



Planning Department
 Director of Planning
 Code Enforcement Officer
 Code Enforcement Officer
 Zoning Officer
 Stormwater Officer
 Administrative Coordinator

Ray Burger
 Kevin Ezell
 David Sprout
 David Sprout
 David Sprout
 Joy Foster

93 East Main Street
 Dryden, NY 13053
 T 607 844-8888 Ext. 216
 F 607 844-8008
 joy@dryden.ny.us
 www.dryden.ny.us

General Permit Application – Sheet 1 General Information

DO NOT FILL IN SHADED SECTIONS

Date: 11/1/2017 Tax Parcel #: 52.-1-49.3 Zoning District: MUC mixed use - commercial

(Complete) Project Address: 1495 DRYDEN RD.

Project Description: 20'x30' and 8'x27' Addition to Existing 30'x38 STEEL BUILDING.

Principal Use: Residential _____ Commercial: Other: _____

Permit(s) Required: Building Zoning Special Use Site Plan Review Subdivision Pool
 Heating Demolition Pre-built Shed

To be completed by Planning Department personnel:

Worksheets / sections required:

- Site Plan Sketch
- Site Plan Review
- Special Use Permit
- Notice of Ground Disturbance
- Zoning Permit
- Varna Compliance Worksheet
- Residential Design Guidelines Compliance
- Commercial Design Guidelines Compliance
- Sign Compliance Worksheet
- Driveway or Roadcut Compliance
- Notices and Disclaimer Acknowledgement
- Agricultural Data Statement
- County Review
- Minor Subdivision
- Major Subdivision
- Demolition
- Lot line Adjustment

Notes:



"The Best in the Business"

THIS COPY NEEDS TO BE SUBMITTED TO THE TOWN OF DRYDEN WITH THE GENERAL PERMIT APPLICATION

CONTRACT FOR SALE AND PURCHASE OF REAL PROPERTY

PART A

1. GENERAL SEE PAGE 3 of 4

This Contract consists of Part A, Part B as recorded in the Tompkins County Clerk's Office as Instrument Number 2017-05133, and any Addenda signed by the Seller and the Buyer. This Contract for Sale and Purchase of Real Property (hereinafter the "Contract") becomes a binding legal instrument when signed and a legally binding contract when executed by both parties. The Seller and the Buyer should each consult an attorney before signing this document or arrange for attorney approval within the time frame set forth herein. The form of this Contract has been approved by the Ithaca Board of Realtors, Inc. and the Tompkins County Bar Association, Inc.

2. PARTIES

SELLER Name(s) :

Jeffrey Marrotte

Debra Marrotte

BUYER Name(s) :

UAW Local 2300 (Jason David, President)

Address(es):

31 James Street Dryden NY 13053

Address(es):

840 Hanshaw Road Ithaca NY 14850

Phone(s):

Phone(s):

607-342-5745

Email(s):

Email(s):

jd45@cornell.edu

Agents and Attorneys

Listing Agent/License No.

David Huckle

Brokerage/License No.

Pyramid Brokerage Company

Ph: 607 227 7558

Fax:

Email: dhuckle@pyramidbrokerage.com

Seller Attorney /Office

117 1/2 LANE

Ph:

Fax:

Email:

Selling Agent/License No.

Michael Moore 30M0973594

Brokerage/License No.

WARREN REAL ESTATE 31WA1115996

Ph: 607-327-2526

Fax: 607-257-8801

Email: Michael@4ithacahomes.com

Buyer Attorney/Office

Jon Albanese

Ph:

Fax:

Email:

Seller Initials

Handwritten initials in boxes

Buyer Initials

Handwritten initials in boxes

6. OTHER TERMS

(Set forth in the box below any modifications to Part B and/or additional terms governing this transaction)

- 1- Offer contingent on the buyer receiving approval from the Town of Dryden to build a new professional office facility for the intended use as a local union association.
- 2- The buyer has the right to conduct a Phase 1 environmental study with-in 30 days from the acceptance of this offer. The offer is contingent on a satisfactory phase 1 environmental study if preformed.
- 3- The attorney approval period is 5 business days from the date of acceptance.
- 4- Purchase contract contingent on approval from the UAW Local 2300 membership with-in ⁴⁵ days of acceptance.
- 5- The property will convey vacant, with no leases.
- 6. *SELLER WILL ONLY PROVIDE EXISTING SURVEY OF PROPERTY. ANY ADDITIONAL REQUIREMENTS WILL BE AT BUYER'S EXPENSE.*
 The buyer will be responsible to pay Warren Real Estate a commission in the amount stated in the "Exclusive Buyer Agreement" that was signed by the buyer on November 8th 2016. The stated commission in the "Exclusive Buyer Agreement" will be reduced by the co-broke amount being offered by the listing brokerage.

*alm JM
JD 8-17-17*

There IS IS NOT an addendum attached to this Purchase Offer.

7. DISCLOSURES

(Mark all disclosures received by Buyer at the time of offer)

- Agency
- Green On-Bill Recovery
- Smoke/CO Detector
- Agricultural District
- Home Equity Theft Protection
- Uncapped Gas Well
- Electric Availability
- Lead Paint
- Utility Surcharge
- Gas, Oil, Mineral, Timber Rights
- Property Condition
- Other: _____

CLOSING DATE

Target or Approximate Date:

October 31st 2017

Seller Initials

Buyer Initials

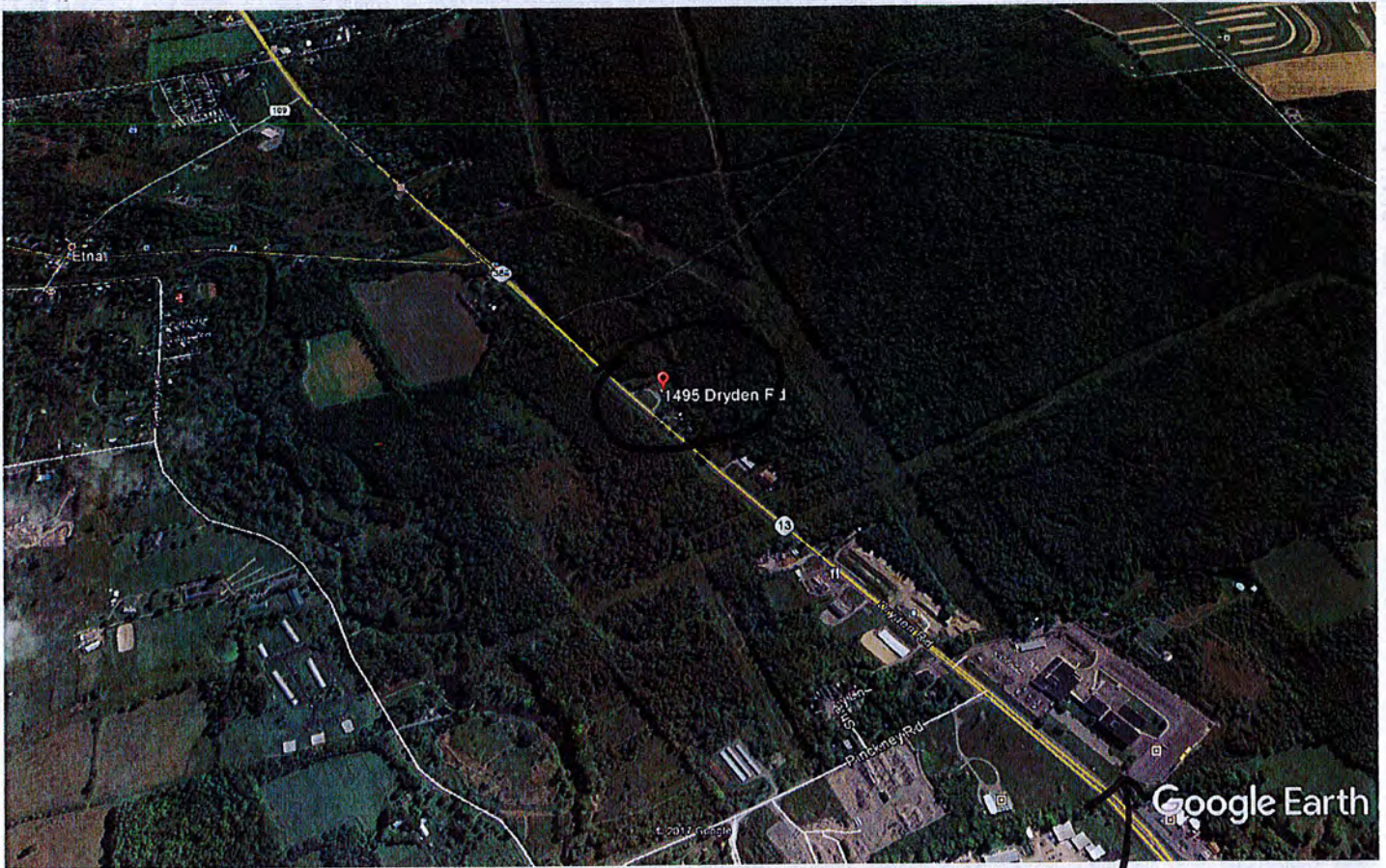
Dave Sprout

From: Debra Marrotte <dlmarrotte@yahoo.com>
Sent: Friday, October 27, 2017 10:22 AM
To: Dave Sprout
Cc: David G. Huckle; jeffmarrotte@yahoo.com
Subject: 1495 Dryden Road

I give the UAW permission to pursue site plan approval for their project related to administrative offices at 1495 Dryden Road. Debra Marrotte

Sent from my iPhone

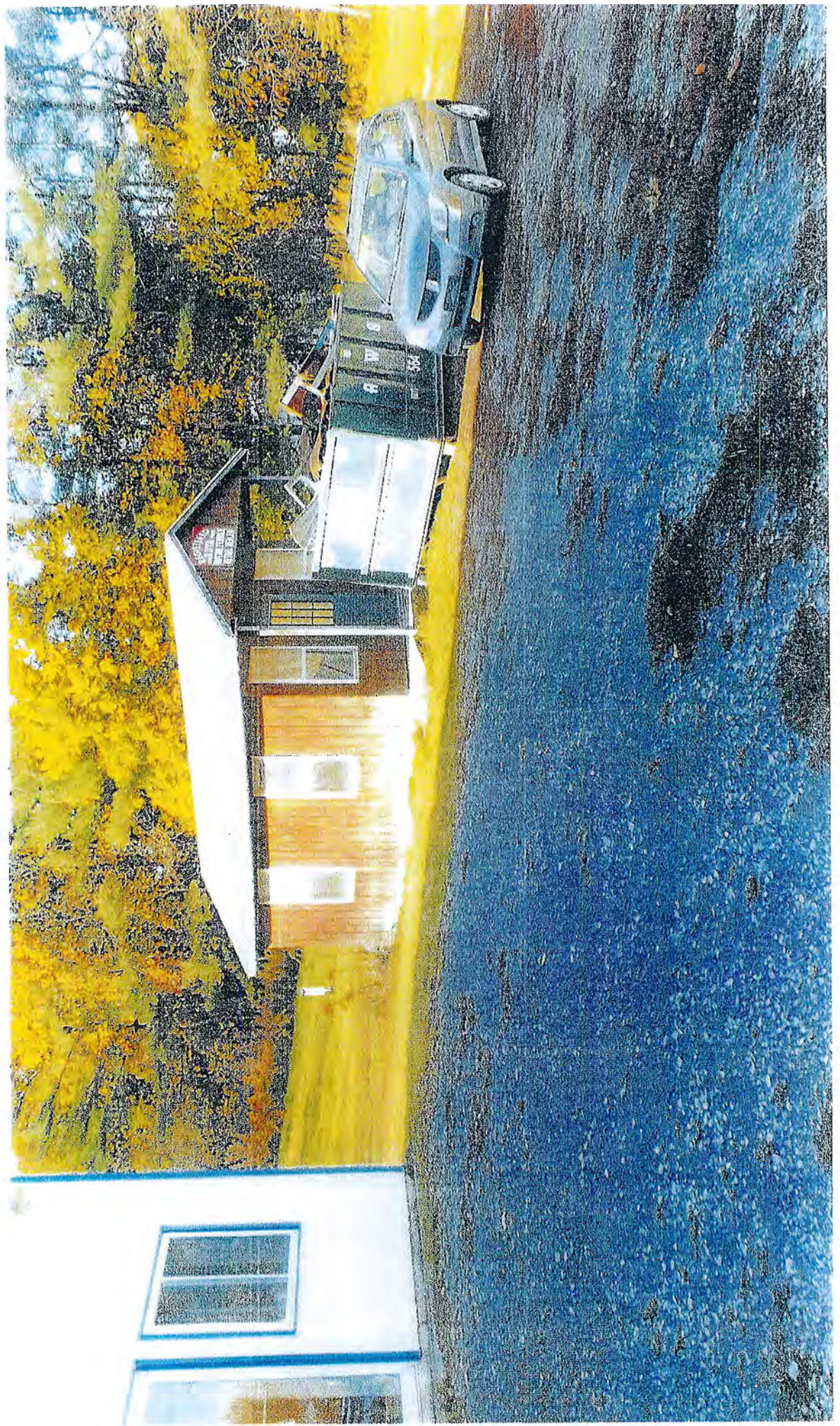
↑ To Dryden



Google Earth

NYSEG

General location map



Existing Conditions



Existing Conditions

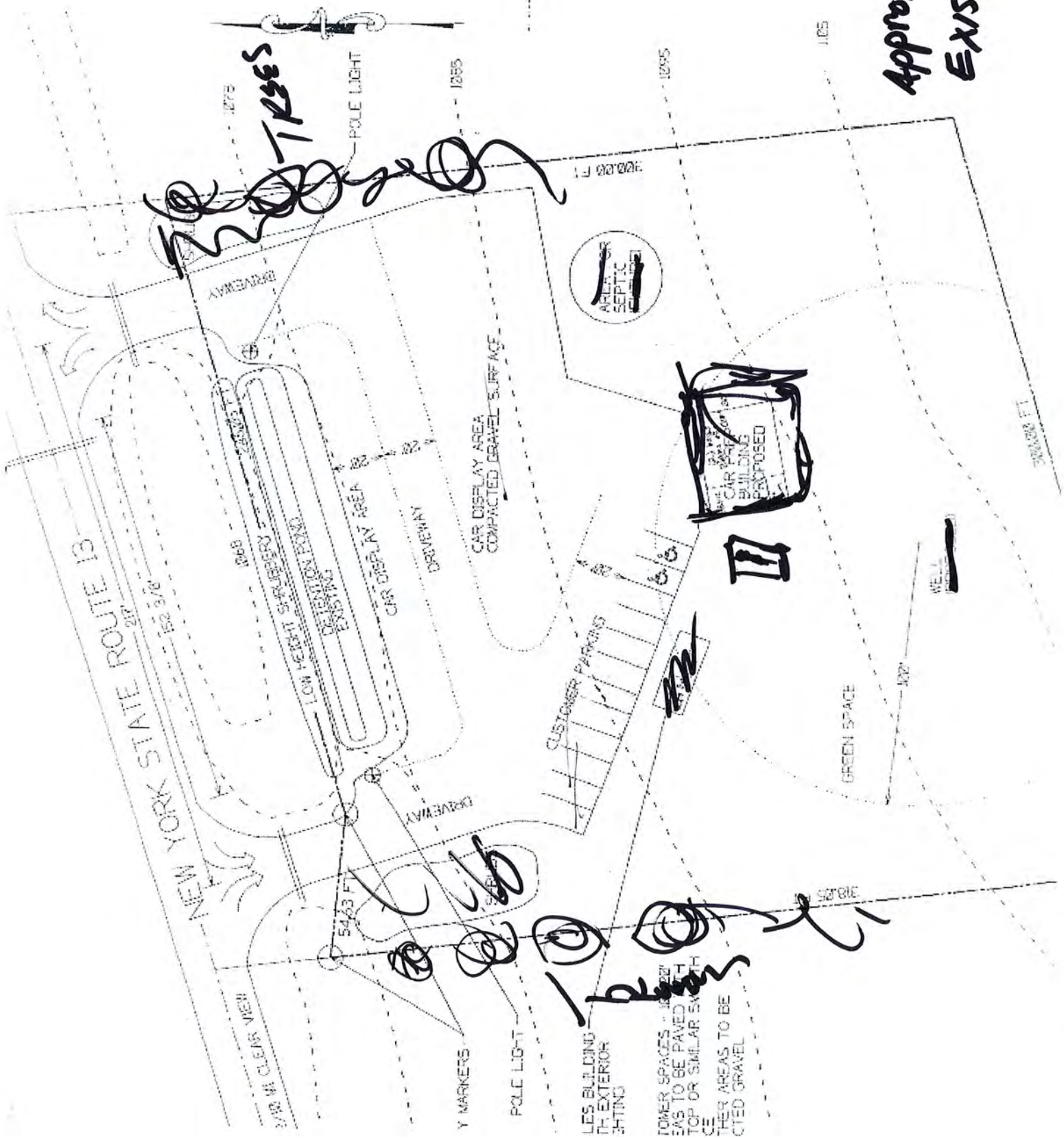


Existing Conditions



Existing conditions

1074



*Approximate
Existing Site*

NEW YORK STATE ROUTE 13
20'

162 3/8'

DRIVEWAY

10x8

25x30

LOW HEIGHT SURBERY

EXISTING

DESIGNATION

AREA

CAR DISPLAY AREA
COMPACTED GRAVEL SURFACE

DRIVEWAY

CUSTOMER PARKING

III

CAR WASH BUILDING
PROPOSED

GREEN SPACE

WELL

1027'

300.00 FT

Trees

POLE LIGHT

1278

1255

1295

1105

5463 FT

Y MARKERS

POLE LIGHT

LES BUILDING
IN EXTERIOR
SETTING

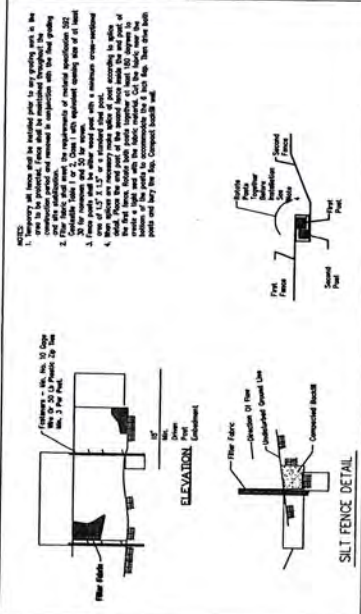
LOWER SPACES - 10-20'
EAS TO BE PAVED WITH
TOP OR SIMILAR SURFACE
THESE AREAS TO BE
CITED GRAVEL

1030'

- GENERAL NOTES:**
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND AGENCIES INVOLVED IN THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND AGENCIES INVOLVED IN THE PROJECT.
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 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND AGENCIES INVOLVED IN THE PROJECT.
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 15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND AGENCIES INVOLVED IN THE PROJECT.
 16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND AGENCIES INVOLVED IN THE PROJECT.
 17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND AGENCIES INVOLVED IN THE PROJECT.
 18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND AGENCIES INVOLVED IN THE PROJECT.
 19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND AGENCIES INVOLVED IN THE PROJECT.
 20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND AGENCIES INVOLVED IN THE PROJECT.



SCALE
1" = 20'



SEE FULL PLAN
 FRONT SET BACK IS 10'
 SIDE SET BACK IS 5'
 REAR SET BACK IS 10'
 TOTAL AREA OF LOT IS 1.8 ACRES
 TOTAL AREA OF LOT IS 1.8 ACRES
 14 PARCELS

CONSTRUCTION SPECIFICATIONS
 OBTAIN ALL NECESSARY LOCAL, STATE AND FEDERAL APPROVALS AND PERMITS.
 INSTALL SIGNAGE CONTROL.
 PREPARE EROSION CONTROL PLAN AND OBTAIN NECESSARY APPROVALS TO BE
 PREPARED WITH CONSTRUCTION BARRIERS.
 STOP TOPSOIL FROM BEING ERODED.
 CONTRACT ALL NECESSARY SERVICES AS NECESSARY OPERATIONS PROCEED.
 MAINTAIN CONSTRUCTION OF THE BUILDING.
 COMPLETE FINAL GRADING OF THE DISTURBED AREA, REMOVE TOPSOIL AND SEED
 ALL FINAL GRASS AND STABILIZE SOIL.

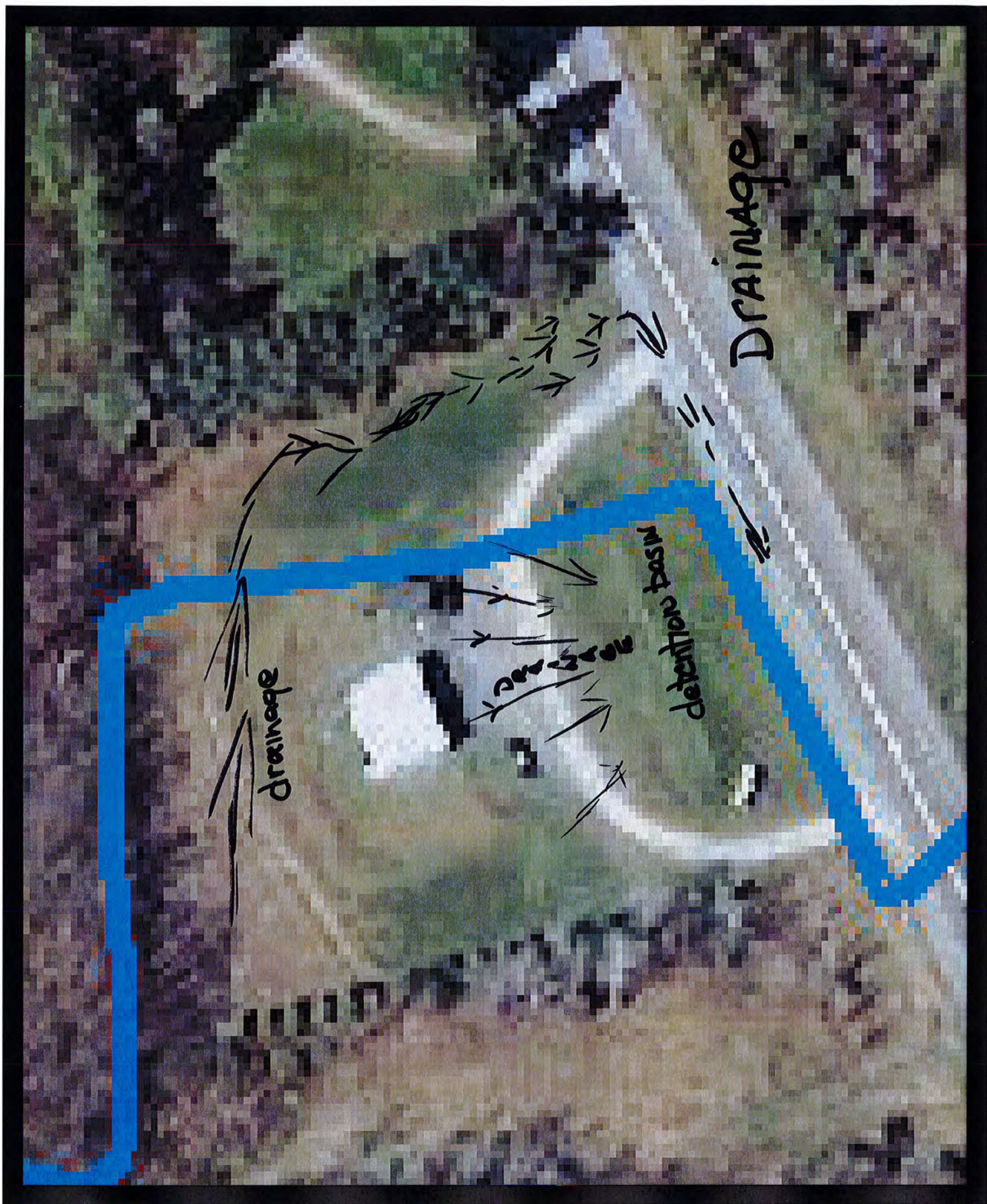
UAW 2300
 1495 DRYDEN ROAD
 DRYDEN NY 13068
 ZONE-COMMERCIAL

APPROVED BY
 PLANNING BOARD
 CHAMPION



MAS ENGINEERING
 1071
 1495 DRYDEN ROAD
 DRYDEN NY 13068
 607-835-2700

site plan



Notice of Ground Disturbance / Area Tally Form

Please complete this form and submit to the Town of Dryden **Stormwater Management Officer, David Sprout**. "Land Development Activity" resulting in Ground Disturbance is defined as all areas where soil will be disturbed as a result of clearing, grubbing, grading, excavating, stockpiling, placement of fill, paving, installation of utilities, and construction of buildings or structures. This form will enable Town of Dryden staff to assist applicants in meeting local stormwater standards, and it is helpful to submit this form prior to finalizing your SWPPP.

Owner's Name: UAW Local 2300 Date: 9-12-17
Phone # 607-272-4108 Mailing Address: 840 Hawthorn rd, Ithaca, NY 14850
Project Site Address: 1495 Dryden Rd Tax Parcel # 52-1-49-3
Project Sponsor Name (If Different than Owner): _____ Phone: _____
Address: _____

Brief Description of the Project:

27'3" x 7'8" ? 20' x 30' additions

(Attach additional sheets of paper as necessary and include a project sketch)

Project and Site Characteristics (Check yes or no as appropriate)

1. Will the project involve multiple phases? YES NO If YES, how many phases? _____
2. What is the shortest distance from the project area of disturbance to the edge of any stream, pond, lake, or wetland in the vicinity of the project? N/A feet.
3. Does the site show any field or map indicators of potential wetland presence? YES NO
Check all that are applicable:
 Mapped NWI Wetlands Mapped DEC Wetlands Mapped Hydric Soils
 Field indicators of Hydric Soils Vegetation indicative of wetlands Wetland Delineation
4. Please describe the slope on site (e.g. steep or flat areas, stream banks, gullies, bluffs etc.).
Gradual slope
5. Will the project include a linear excavation that is more than 500 feet long and 3 feet wide?
 YES NO
6. Will the project involve excavation or fill resulting in the movement of more than 250 cubic yards of soil, sand, or similar material? YES NO
7. Does the project require any state or federal environmental permits? YES NO
Permit(s): _____
8. Do connected Impervious Areas exceed 1/2 acre. YES NO
(If YES a Full SWPPP is required)

Town of Dryden Notice of Ground Disturbance / Area Tally Form

9. Area Tally

9A) Fill in the approximate area to be disturbed by the following, in square feet, as applicable. If it has been determined that a Full SWPPP is necessary from the Notice of Ground Disturbance, then please present this information when the final draft is complete.

- Driveway
- Parking Area
- House / Main Building
- Other Buildings 808.90 → 2 Additions
- Septic System
- Other Grading / Clearing / Lawn
- Wells and Ditches
- Drainage Structures
- Utility Laying
- Additional Area (for construction access, stockpiling, etc.)

SMD
 Existing Impervious
 ≈ 8850 #
 Existing build
 27'3" x 7'8"
 20' x 30'
 driveway
 Building etc

Total (do not total overlapping areas): 808.90

9B) For subdivisions only:
 Total from Above: _____ x _____ (# of lots) + _____ (road area) = _____

9C) As estimated above, the total Area of Disturbance is: 808.90

10. Is more than half of the project site area over soils in Hydrologic Soil Group A, B, or C according to the Tompkins County Soil Survey? YES NO

11. Is the project redevelopment, as defined by Chapter 9 of the DEC's design manual? YES NO *Not Applicable*

12. Total Parcel Acreage: 2.04

13. Area of existing impervious surface prior to development: ≈ 8850 #

14. Total Impervious Area expected after project completion: ≈ 9658.9 #

Signature: *[Signature]*

Date: 11-1-2017

617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
UAW LOCAL 2300 BUILDING			
Name of Action or Project:			
1495 DRYDEN RD FROBENYLLS.			
Project Location (describe, and attach a location map):			
Brief Description of Proposed Action: Add two additions - 20x30' and 8'x27' to a existing steel Building			
Name of Applicant or Sponsor:		Telephone:	
UAW LOCAL 2300			
Address:		E-Mail:	
840 HANSHAW ROAD			
City/PO:	State:	Zip Code:	
ITHACA	NY	14850	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO YES
			✓
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO YES
			✓
3.a. Total acreage of the site of the proposed action?		2 acres	
b. Total acreage to be physically disturbed?		0.1 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		2 acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)			
<input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			

	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations?		<input checked="" type="checkbox"/>	
b. Consistent with the adopted comprehensive plan?		<input checked="" type="checkbox"/>	
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?			<input checked="" type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels?		<input checked="" type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?			<input checked="" type="checkbox"/>
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?		<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____			<input checked="" type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing potable water: _____			<input checked="" type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____			<input checked="" type="checkbox"/>
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?		<input checked="" type="checkbox"/>	
b. Is the proposed action located in an archeological sensitive area?			
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?		<input checked="" type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____		<input checked="" type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?			<input checked="" type="checkbox"/>
16. Is the project site located in the 100 year flood plain?		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____		<input checked="" type="checkbox"/>	


18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____	NO	YES
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>James M. S. Davis</u>	Date: <u>11/1/2017</u>	
Signature: _____		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	✓	
2. Will the proposed action result in a change in the use or intensity of use of land?	✓	
3. Will the proposed action impair the character or quality of the existing community?	✓	
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	✓	
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	✓	
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	✓	
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	✓ ✓	
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	✓	
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	✓	

MAS ENGINEERING

55 Ashley Street
Lyons, New York 13089
315-946-9552
Cell 315-573-0765



MICHAEL A. SINNIER, P.E. #059977

UAW 2300
1495 DRYDEN ROAD
DRYDEN NY 13068

NEW OFFICE BUILDING



BUILDING LOCATION MAP

DRAWN BY:	MAS
DATE:	1-Dec-17
JOB No.:	UAW LOCAL 2300

STRUCTURAL AND CODE INFORMATION	
ROOF SNOW LOAD	
ELEVATION ABOVE SEA LEVEL	1061
FIGURE 1604.2 GROUND SNOW LOAD (psf) (Ps)	42
7-3 (ASCE 7-10) FLAT ROOF SNOW LOAD (psf) (Pf)	36
7-4 (ASCE 7-10) SLOPED ROOF SNOW LOAD (psf) (Ps)	36
TABLE 7-2 (ASCE 7-10) SNOW EXPOSURE FACTOR (Ce)	1
TABLE 7-4 (ASCE 7-10) SNOW LOAD IMPORTANCE FACTOR (Ia)	1.2
TABLE 7-3 (ASCE 7-10) THERMAL FACTOR (Ct)	1.2
FIG. 7-2 (ASCE 7-10) SLUPE FACTOR (Cs)	1
WIND-LOAD	
FIGURE 1609 BASIC WIND SPEED	115 mph
TABLE 1604.5 WIND IMPORTANCE FACTOR	1
FIG. 6-5 (ASCE 7-10) INTERNAL PRESSURE COEFFICIENT	+/- .16
1609.4 EXPOSURE CATEGORY	B
SEC. 6 OF ASCE-7-10 VELOCITY PRESSURE (P)	13.24 LB/FT ²
OTHER LOADINGS	
TRUSS/WATER TC DEAD LOADS (psf)	5
TRUSS/WATER BC DEAD LOADS (psf)	5
SECOND FLOOR DESIGN LIVE LOAD (psf)	-
SECOND FLOOR DESIGN DEAD LOAD (psf)	-
SOIL TYPE	1500 PSF
TABLE 1604.2 ASSUMED SOIL BRG CAPACITY (psf)	1500 PSF
CLASSIFICATION	
CHPT. 3 BUILDING OCCUPANCY	OFFICE
CHPT. 6 CONSTRUCTION TYPE	5B

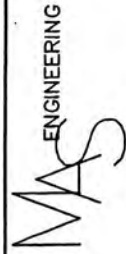
DRAWING TABLE OF CONTENTS	
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2	WINDOW AND DOOR SCHEDULES / ADA ELEVATIONS
3	TRUSS LAYOUT
4	SOUTH ELEVATION
5	NORTH ELEVATION
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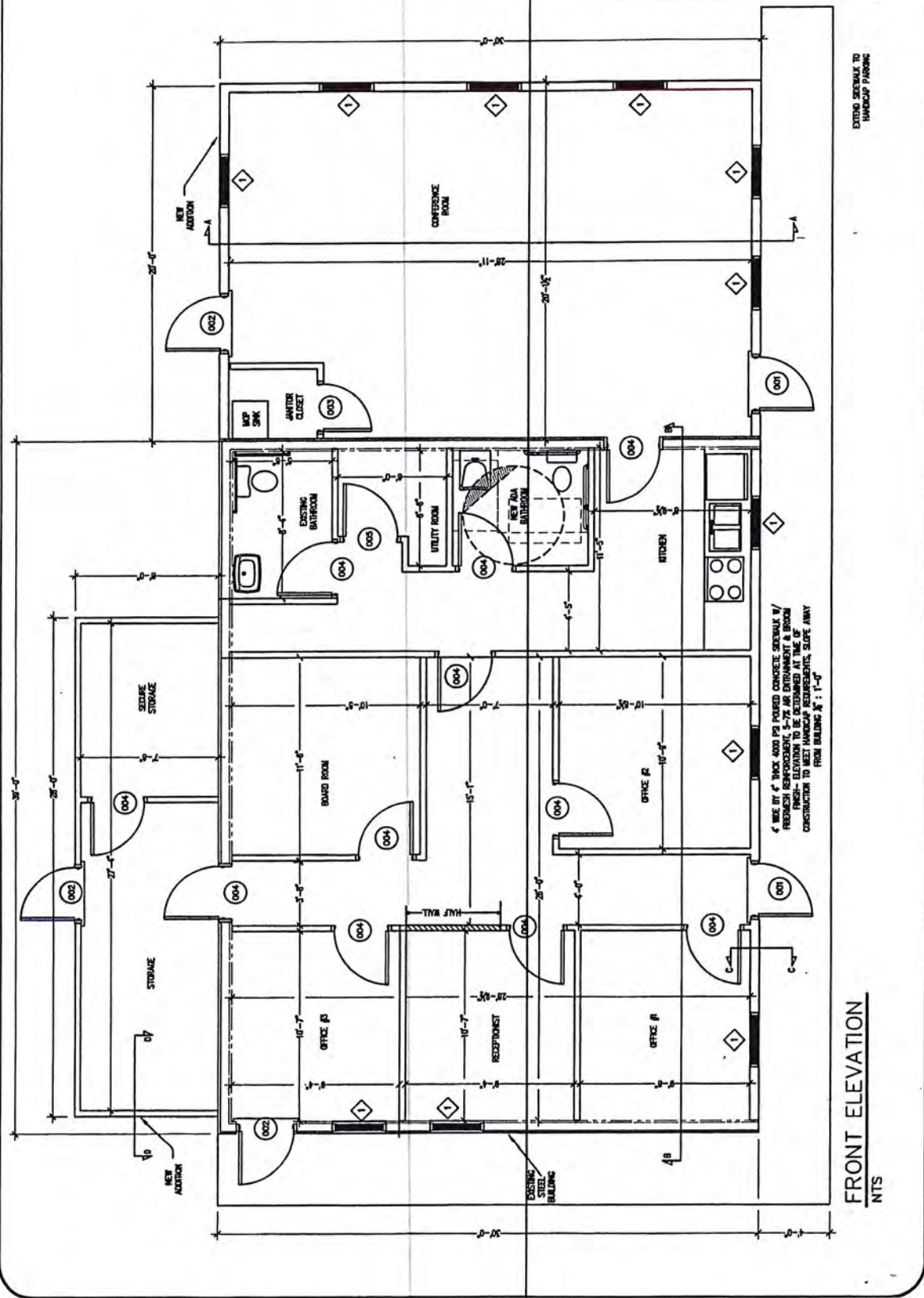
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315-946-9552
Cell 315-573-0765

PROJECT:
LIAM LOCAL 2300

DATE:
1-Dec-17

SCALE:
As Noted

SHEET No. **1**

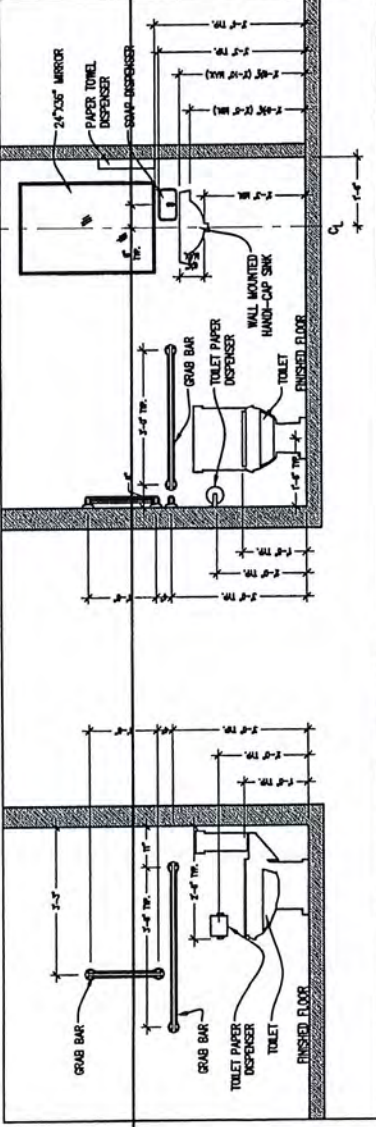


EXTING SCHEDULE TO
HANDICAP PARKING

FRONT ELEVATION
NTS

DOOR OPENING SCHEDULE							
Remarks	Number	Quantity	Rough Width	Rough Height	Head Height	Door Size	Jamb Detail
INSULATED PASS DOOR W/ HALF GLASS	001	2	3'-4"	6'-10"	6'-8"	3'-0" x 6'-8"	---
INSULATED PASS DOOR	002	3	3'-4"	6'-10"	6'-8"	3'-0" x 6'-8"	---
SOLID WOOD PASS DOOR	003	1	3'-0"	6'-10"	6'-8"	2'-8" x 6'-8"	---
SOLID WOOD PASS DOOR	004	11	3'-4"	6'-8"	6'-8"	3'-0" x 6'-8"	---
SOLID WOOD PASS DOOR	005	1	3'-4"	6'-10"	6'-8"	3'-0" x 6'-8"	---

WINDOW SCHEDULE								
Number	Type	Quantity	Rough Width	Rough Height	Head Height	Header	Bearing Studs V(Each Side)	Full Studs V(Each Side)
1	INSULATED DOUBLE HING	11	3'-0"	4'-0"	6'-8"	(2)-2x10 SPF #2	1	1



ADA BATHROOM ELEVATIONS
NTS

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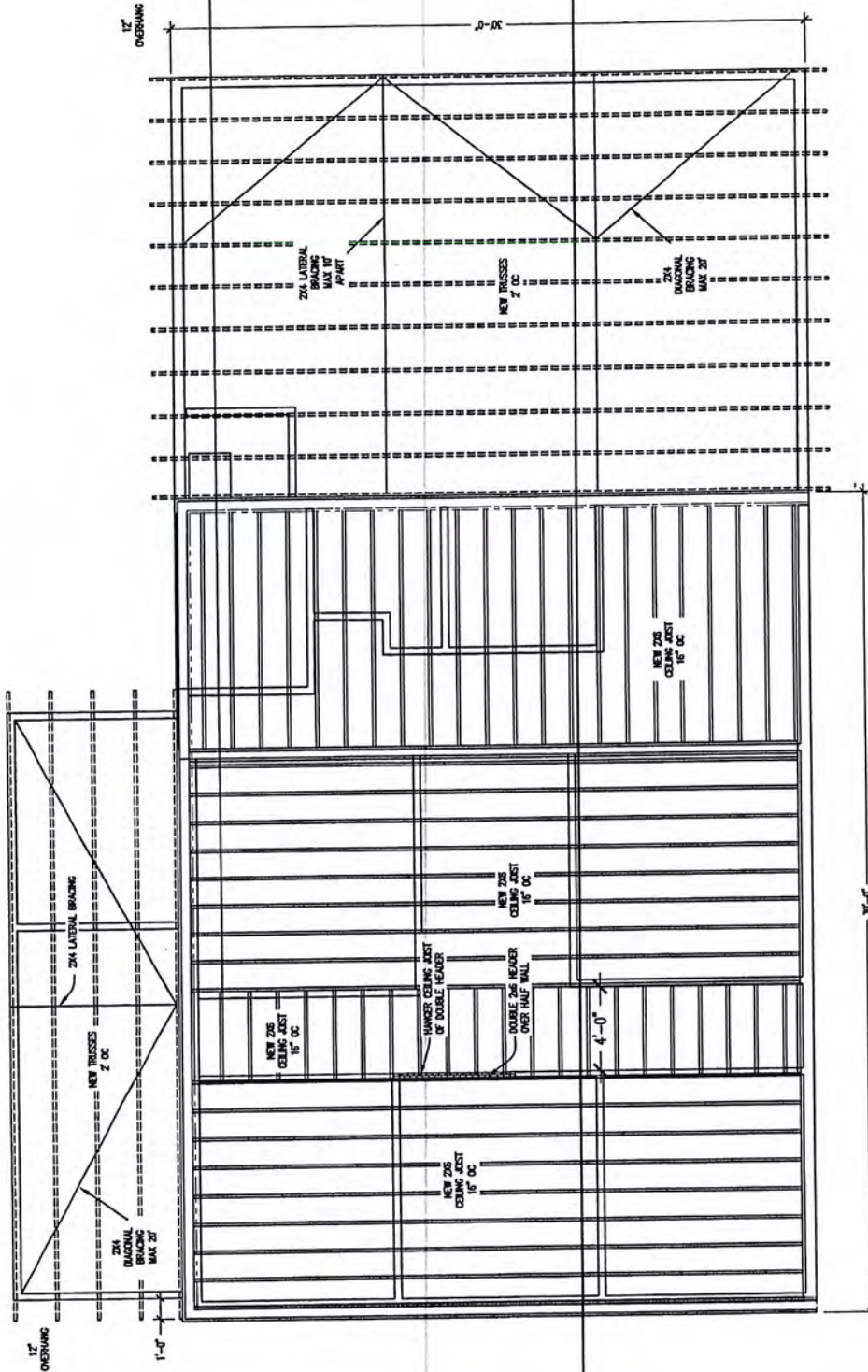
PROJECT:
 UAW LOCAL 2300

DATE:
 1-Dec-17

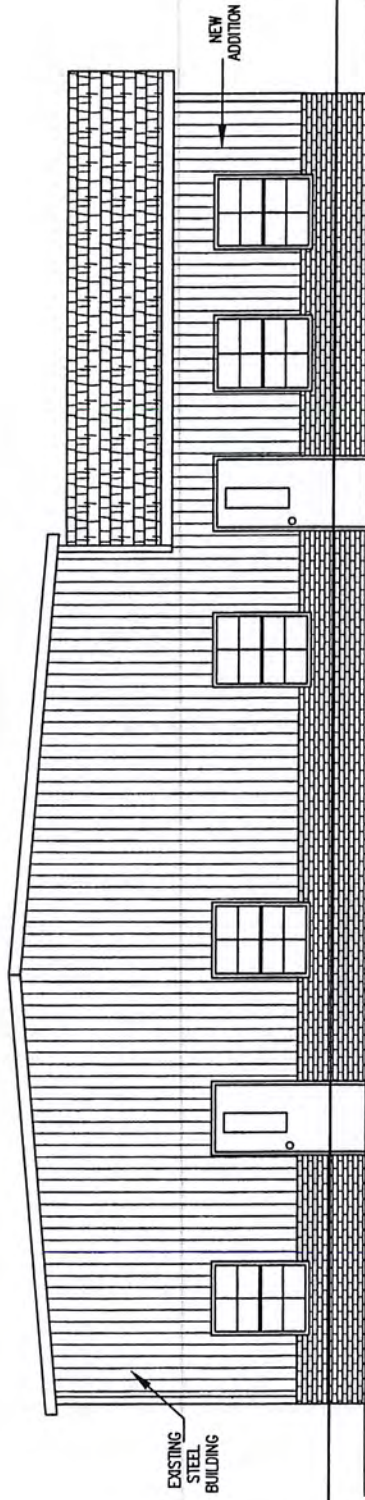
SCALE:
 As Noted

SHEET NO.

3




CEILING JOIST AND TRUSS LAYOUT
 3/16" = 1'-0"

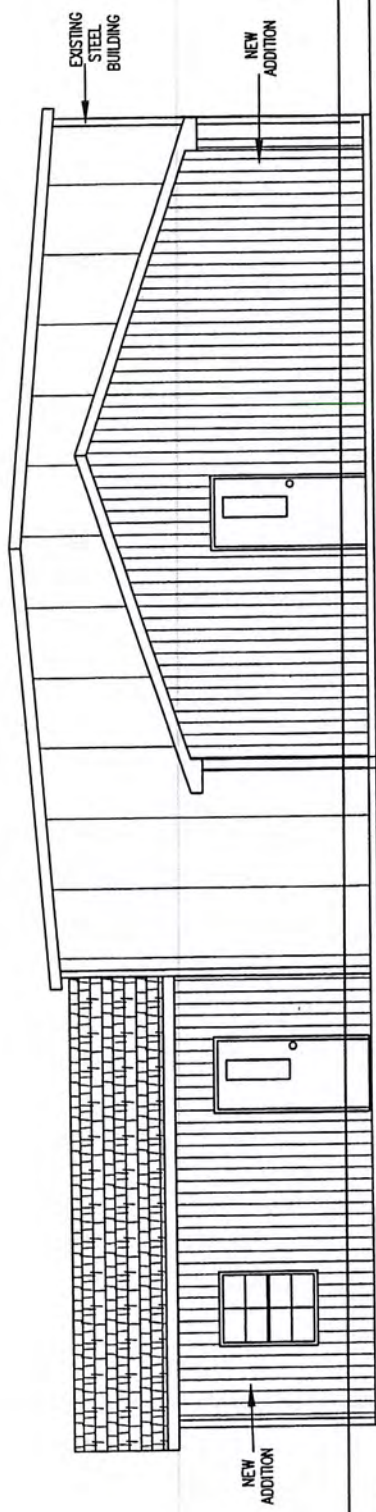


EXISTING
STEEL
BUILDING

NEW
ADDITION

	PROJECT: UAW LOCAL 2300		SHEET No. 4
	55 Ashley Street Lyons, New York 14489 ☎ 315-946-9552 Cell 315-573-0765		DATE: 1-Dec-17
SCALE: As Noted			

SOUTH ELEVATION
3/16" = 1'-0"

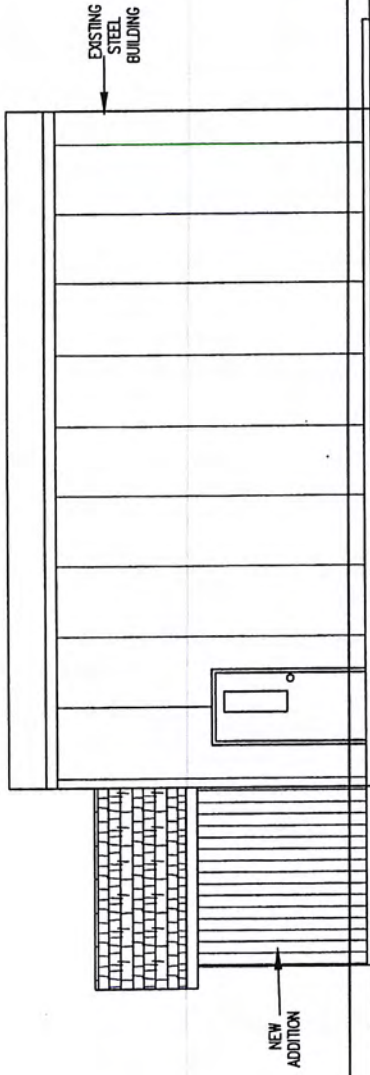


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PROJECT: UAW LOCAL 2300	SHEET No. 5
DATE: 1-Dec-17	SCALE: As Noted

NORTH ELEVATION
3/16" = 1'-0"



WEST ELEVATION
 $\frac{3}{16}'' = 1'-0''$

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PROJECT:
 UAW LOCAL 2300

SHEET NO.

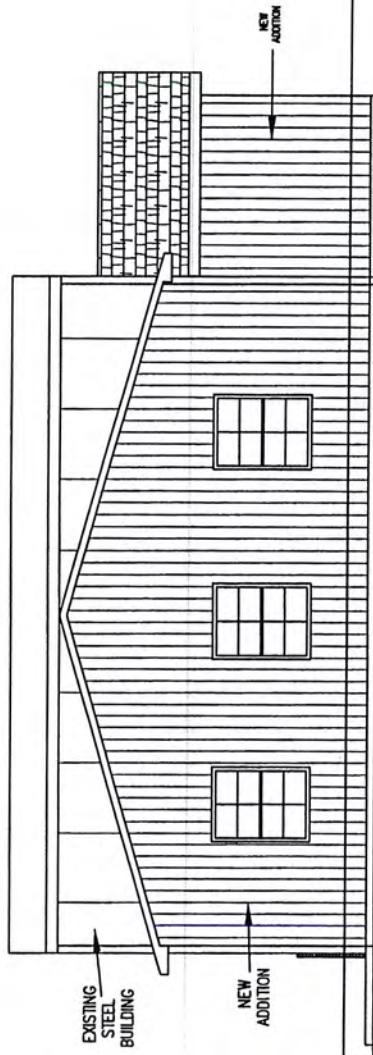
6

DATE:

1-Dec-17

SCALE:

As Noted



EAST ELEVATION
 $\frac{3}{16}'' = 1'-0''$

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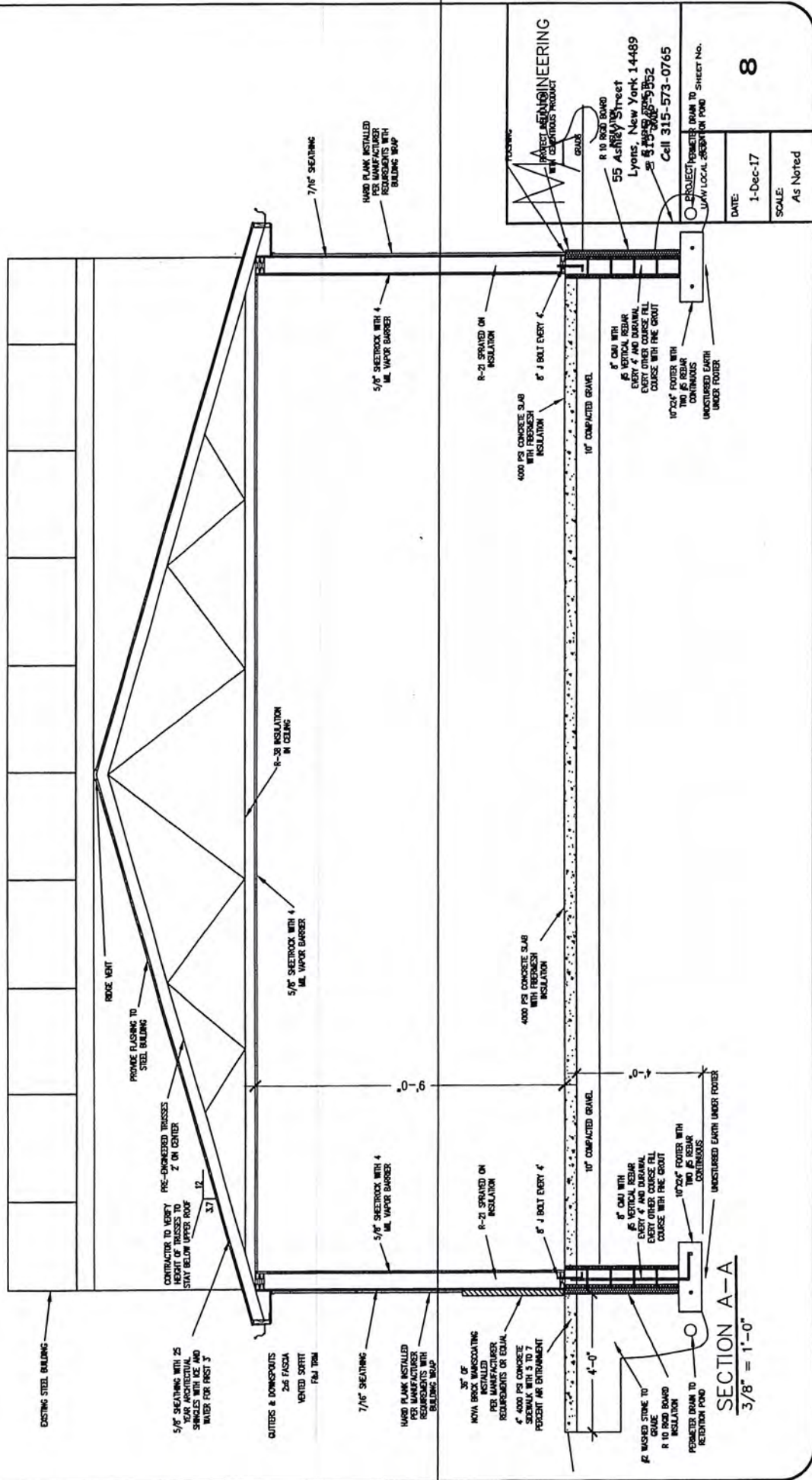
PROJECT:
 UAW LOCAL 2300

SHEET No.

7

DATE:
 1-Dec-17

SCALE:
 As Noted



EXISTING STEEL BUILDING

5/8" SHEATHING WITH 25
REAR REINFORCING
SHEATHING TO BE
WATER FOR FIRST 3'

OUTSIDS & DOWNSPOUTS
2x6 FASCIA
VENTED SOFFIT
FBI TBM

7/16" SHEATHING

HARD PLANK INSTALLED
PER MANUFACTURER
REQUIREMENTS WITH
BUILDING TRAP

3" OF
NOVA BRICK MASONRY
INSTALLED
PER MANUFACTURER
REQUIREMENTS OF EQUAL
4" 4000 PSI CONCRETE
SCHEDULE WITH 3 TO 7
PERCENT AIR ENTRAINMENT

R-21 SPRAYED ON
INSULATION
8" J BOLT EVERY 4'

8" CMU WITH
AS VERTICAL REBAR
EVERY 4' AND DIAGONAL
EVERY OTHER COURSE FULL
COURSE WITH THE GROUT
10"x20" FOOTER WITH
TWO #5 REBAR
CONTINUOUS
UNDISTURBED EARTH UNDER FOOTER

SECTION A-A
3/8" = 1'-0"

CONTRACTOR TO VERIFY
HEIGHT OF TRUSSES TO
STAY BELOW UPPER ROOF
3.1'

PROVIDE FLASHING TO
STEEL BUILDING

ROOF VENT

R-38 INSULATION
IN CEILING

5/8" SHEATHING WITH 4
ML VAPOR BARRIER

5/8" SHEATHING WITH 4
ML VAPOR BARRIER

R-21 SPRAYED ON
INSULATION

8" J BOLT EVERY 4'

10" COMPACTED GRAVEL

4000 PSI CONCRETE SLAB
WITH FRESHEN
INSULATION

10" COMPACTED GRAVEL

8" CMU WITH
AS VERTICAL REBAR
EVERY 4' AND DIAGONAL
EVERY OTHER COURSE FULL
COURSE WITH THE GROUT

10"x20" FOOTER WITH
TWO #5 REBAR
CONTINUOUS
UNDISTURBED EARTH
UNDER FOOTER

7/16" SHEATHING

HARD PLANK INSTALLED
PER MANUFACTURER
REQUIREMENTS WITH
BUILDING TRAP

5/8" SHEATHING WITH 4
ML VAPOR BARRIER

R-21 SPRAYED ON
INSULATION

8" J BOLT EVERY 4'

4000 PSI CONCRETE SLAB
WITH FRESHEN
INSULATION

10" COMPACTED GRAVEL

8" CMU WITH
AS VERTICAL REBAR
EVERY 4' AND DIAGONAL
EVERY OTHER COURSE FULL
COURSE WITH THE GROUT

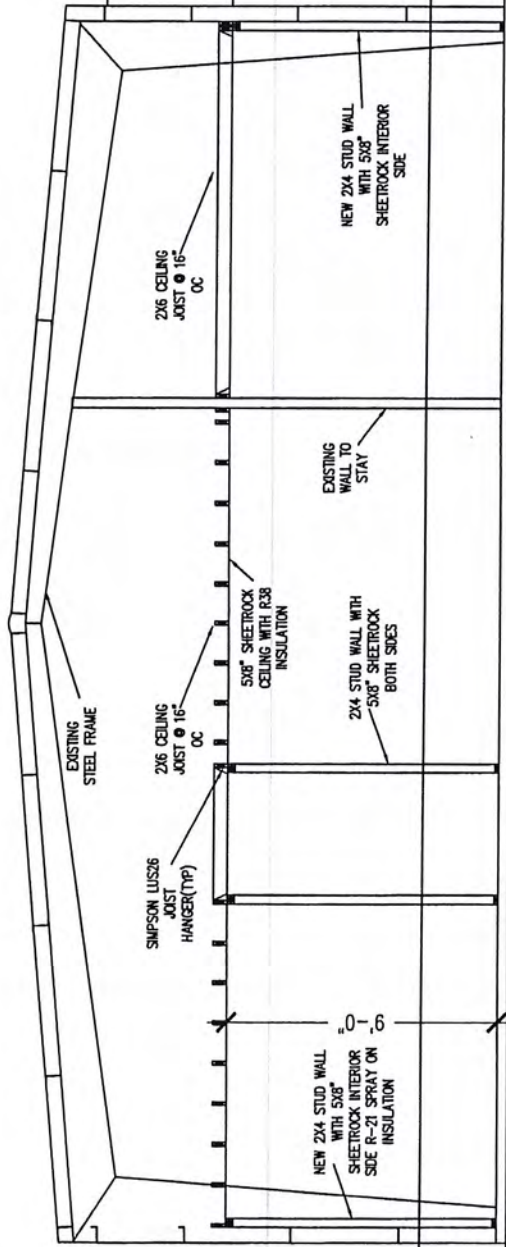
10"x20" FOOTER WITH
TWO #5 REBAR
CONTINUOUS
UNDISTURBED EARTH
UNDER FOOTER

PROJECT ENGINEERING
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Tel: 515-788-9352
Cell: 315-573-0765

PROJECT NUMBER: DRAWN TO SHEET NO.
JAW/LOCAL/SECTION POND

DATE:	1-Dec-17
SCALE:	As Noted

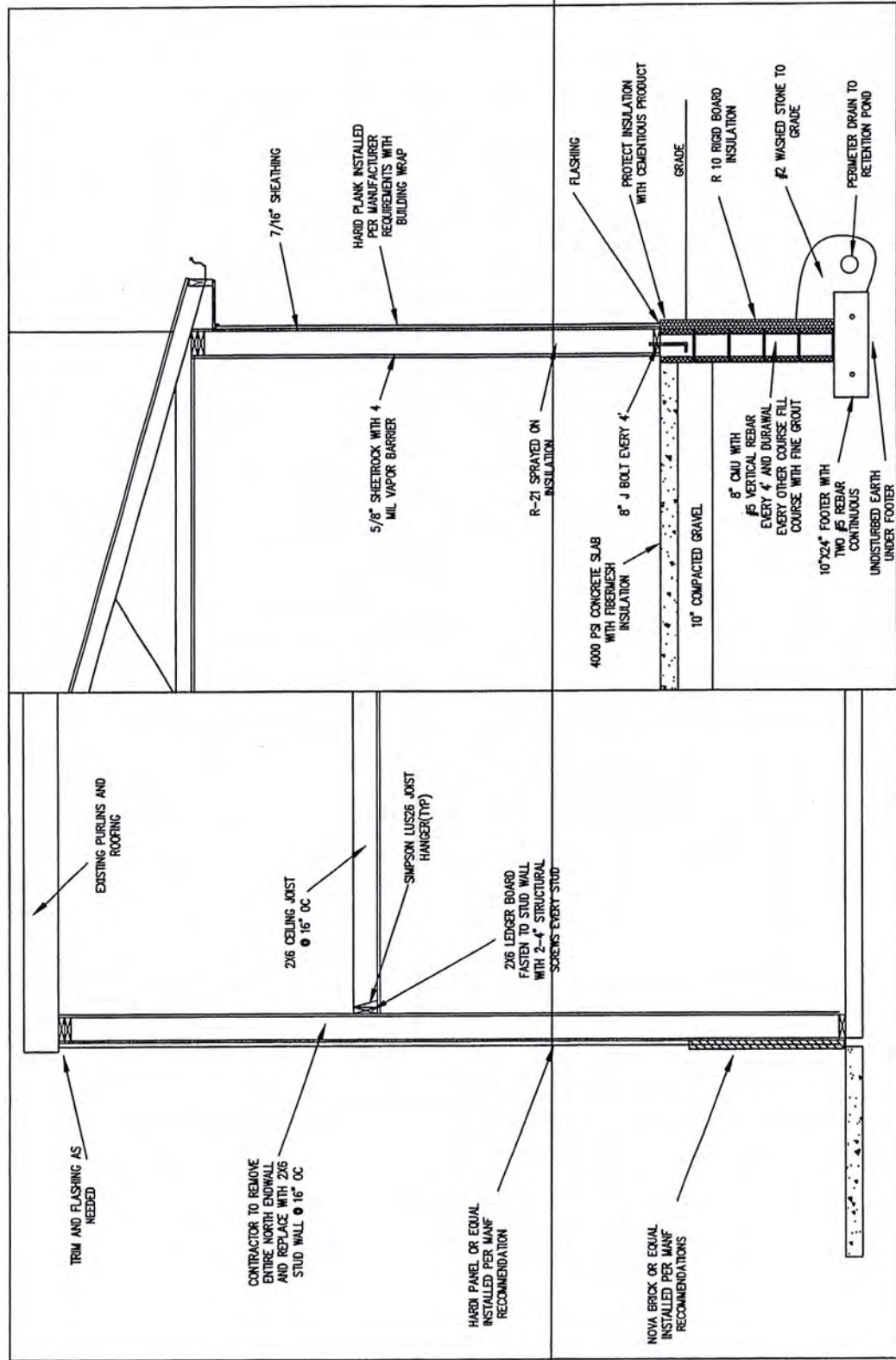
8



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PROJECT: UAW LOCAL 2300	SHEET No. 9
DATE: 1-Dec-17	
SCALE: As Noted	

SECTION B-B
 1/4" = 1'-0"



SECTION D-D
1/2" = 1'-0"

C-C
1/2" = 1'-0"

TRIM AND FLASHING AS NEEDED

CONTRACTOR TO REMOVE ENTIRE NORTH ENDWALL AND REPLACE WITH 2x6 STUD WALL @ 16" OC

HARD PLANK OR EQUAL INSTALLED PER MANF RECOMMENDATION

NOVA BRICK OR EQUAL INSTALLED PER MANF RECOMMENDATIONS

EXISTING PURLINS AND ROOFING

2x6 CEILING JOIST @ 16" OC

SIMPSON LUS26 JOIST HANGER(TYP)

2x6 LEDGER BOARD FASTEN TO STUD WALL WITH 2"-4" STRUCTURAL SCREWS EVERY STUD

7/16" SHEATHING

HARD PLANK INSTALLED PER MANUFACTURER REQUIREMENTS WITH BUILDING WRAP

5/8" SHEETROCK WITH 4 MIL VAPOR BARRIER

R-21 SPRAYED ON INSULATION

4000 PSI CONCRETE SLAB WITH FIBER MESH INSULATION

10" COMPACTED GRAVEL

8" CMU WITH #5 VERTICAL REBAR EVERY 4" AND DURAWAL EVERY OTHER COURSE FILL COURSE WITH FINE GROUT

10"x24" FOOTER WITH TWO #5 REBAR CONTINUOUS UNDER FOOTER UNDISTURBED EARTH UNDER FOOTER

FLASHING

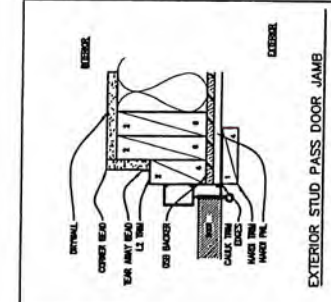
PROTECT INSULATION WITH CEMENTIOUS PRODUCT

GRADE

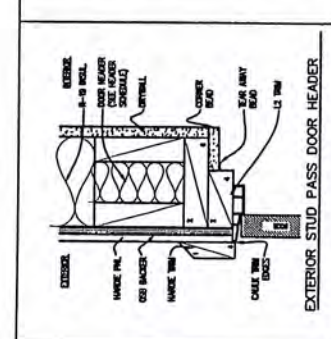
R 10 RIGID BOARD INSULATION

#2 WASHED STONE TO GRADE

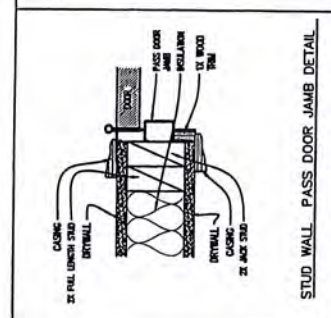
PERIMETER DRAIN TO RETENTION POND



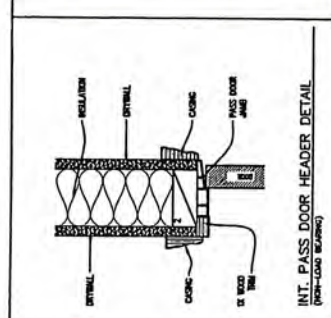
STUD WALL WINDOW FRAME DETAIL



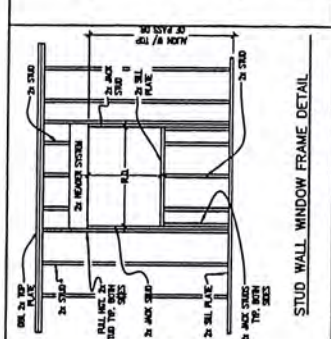
INT. PASS DOOR HEADER DETAIL
(PART-DOOR BURNING)



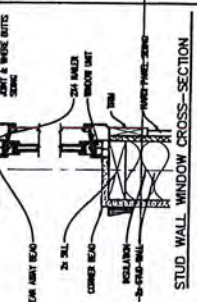
STUD WALL PASS DOOR JAMB DETAIL



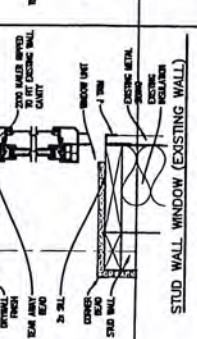
EXTERIOR STUD PASS DOOR HEADER



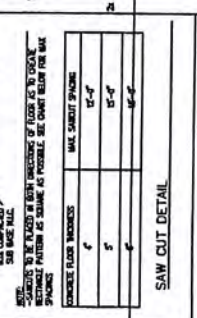
EXTERIOR STUD PASS DOOR JAMB



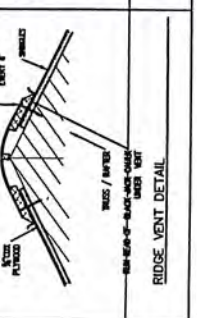
STUD WALL WINDOW CROSS-SECTION



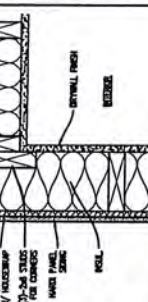
STUD WALL WINDOW (EXISTING WALL)



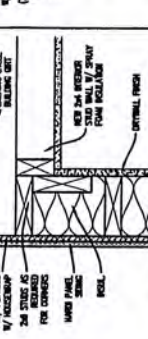
STUD WALL CORNER DETAIL (EXISTING)



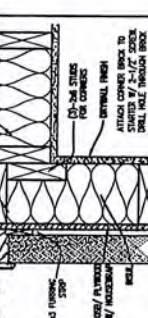
STUD WALL CORNER DETAIL



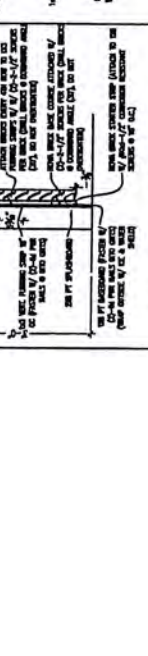
STUD WALL WINDOW (EXISTING WALL)



STUD WALL CORNER DETAIL (EXISTING)



STUD WALL CORNER DETAIL



OVERHANG CORNER DETAIL

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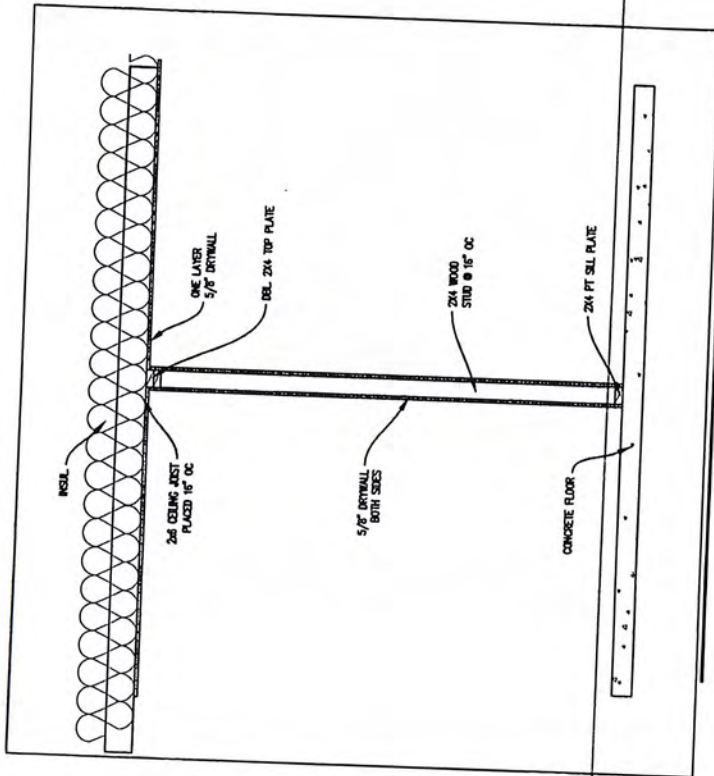
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SHEET NO. **11**

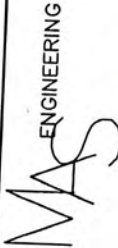
PROJECT: UNW LOCAL 2300

DATE: 1-Dec-17

SCALE: As Noted



STUD WALL CROSS SECTION
 1/2" = 1'-0"

		PROJECT: UAW LOCAL 2300		SHEET NO. 12	
		DATE: 1-Dec-17		SCALE: As Noted	
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