



**Application for Variance - Proposed Subdivision of Lands
at 1932 Slaterville Road
Town of Dryden Tax Parcel**

Habitat for Humanity of Tompkins & Cortland Counties, Owner
Shannon MacCarrick, Agent
February 12, 2019 *Revised March 15, 2019*

The applicant is seeking a variance from Section 600, *Area and Bulk Table*, of the Town of Dryden Zoning Law to permit the subdivision of a 3.04-acre parcel located at 1932 Slaterville Road, a.k.a. Tax Parcel No. 73.2-9 containing an existing dwelling, into three (3) lots. The proposed subdivision as shown on the attached preliminary plat drawing entitled "Proposed Subdivision of 1932 Slaterville Road, Tax Parcel No. 73.2-9, Town of Dryden, Tompkins County New York, dated February 8, 2019 and revised February 12, 2019."

Habitat for Humanity of Tompkins and Cortland Counties is proposing to subdivide the existing 3.04-acre parcel at 1932 Slaterville Road into three new parcels, 1.00 acre, 1.04 acre and 1.00 acre in size. This will permit our organization to renovate the existing abandoned 19th Century farmhouse into a new affordable and energy efficient single-family home, and build two new single-family homes on the two additional lots to be created.

This proposed new subdivision configurations addresses several issues raised by the Zoning Board of Appeals during its consideration of a previous application for a zoning variance in January 2019. These include shifting the third house outside the steep slope area at the rear of the property; and any alterations of stormwater runoff patterns due to new construction in the steep slope area, and a reduction in the required length of a driveway for the new home.



1932 Slaterville Road Site Location Map.



Each of the proposed lots will conform to the lot area requirements for the NR-Neighborhood Residential zoning district (1.0 acre/43,560 sq. ft.). Due to the width of the existing lot frontage along NYS Rte 79/Slaterville Road, which according to a property survey completed in 2017 is approximately 357 feet, we are requesting a variance from the minimum lot frontage requirement of 150 feet for two of the three lots. The deficiency for which a variance is requested for Lot # 2 would be 50 feet; and the deficiency for Lot # 3 would be 44 feet.

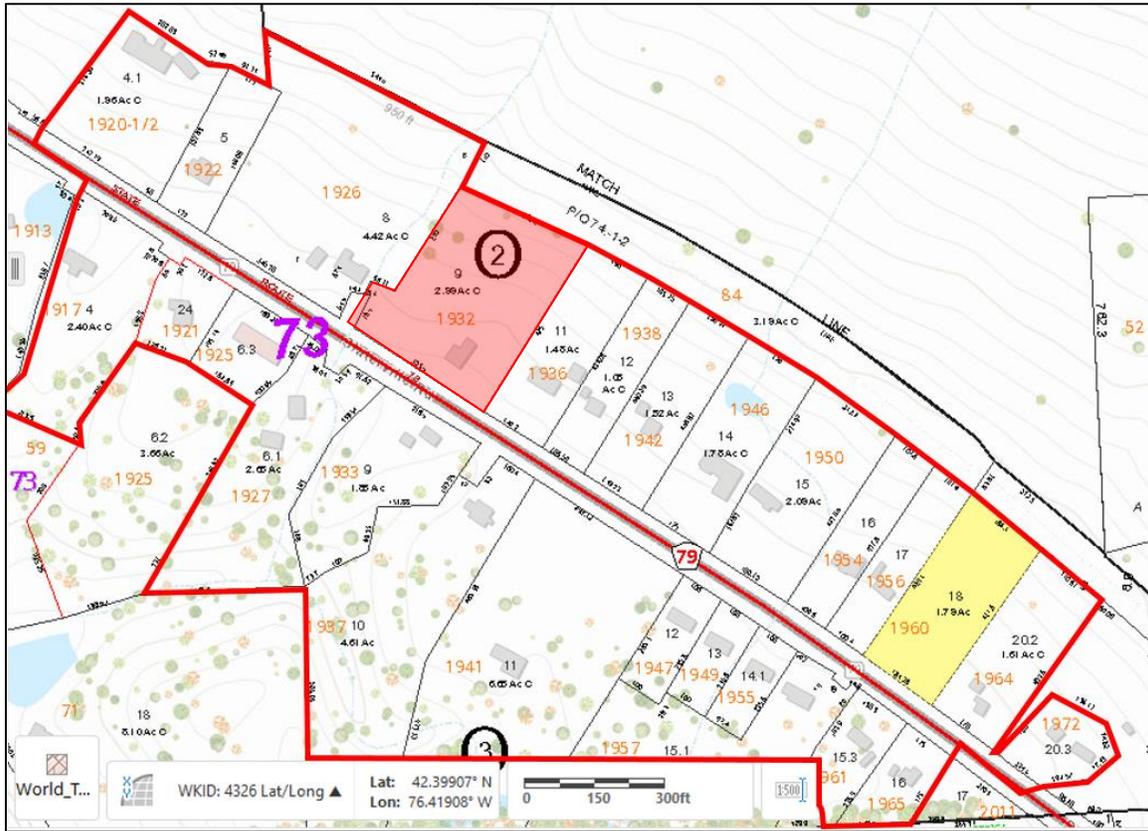
While some may believe it ideal to have equal lot frontages of 119 feet for each lot, this is precluded by the location of the existing home at 1932 Slaterville Road on the proposed Lot #1, and a desire to maintain at least a minimum side yard of 15 feet for that home on the west side of the parcel. A deep offset in the westerly boundary of Lot #3, combined with the desire to meet the minimum lot area of 1.00 acre in a manner that enables practical use of all of the lot, and a desire to move the future home as far from the existing home to the west, requires that it be a minimum of 106 feet wide.

As a result of the proposed configurations of Lot #1 and Lot #3, the new Lot #2 is proposed to be 100 feet wide. The proposed lot width however is adequate to provide enough width for a home as well as larger than required side yard setbacks.

Would the granting of the requested variance result in an undesirable change in the character of the neighborhood or a detriment to nearby properties?

A review of the tax parcel map for the area surrounding 1932 Slaterville Road below reveals that many of the residential properties in the surrounding neighborhood exhibit deficiencies in terms of lot width, as well as lot area. Of the 27 lots outlined in the map below, 13 (48%) do not meet the minimum required lot frontage requirement for the NR-Neighborhood Residential zoning district, while 6 (22%) have lot frontages of 105 feet or less. Ten of the existing parcels (37%) do not meet the minimum required lot area of 1 acre.

Given this existing number and nature of zoning deficiencies on adjacent properties in the neighborhood, no undesirable change in the neighborhood or to individual properties is anticipated due to the granting of the requested variance from the minimum frontage requirement for the proposed lots. This is particularly true because the home on the proposed Lot #2 will be set back substantially from Slaterville Road – approximately 140 feet – and the home on Lot 3 would be set back approximately 95 feet.



1932 Slaterville Road/Tax Parcel No. 73.2-9 (shaded red) and surrounding parcels

Can the benefit sought by the applicant be achieved by some method feasible for the applicant to pursue, other than an area variance?

The proposed subdivision will permit the applicant, Habitat for Humanity of Tompkins and Cortland Counties, to construct two affordable, owner occupied homes and rehabilitate an existing un-occupied and deteriorated home.

Due to the existing amount of road frontage on Slaterville Road of approximately 357 feet, under current zoning requirements it would only be possible to create two lots that would conform to the NR-Neighborhood Residential zoning district, including a lot with the existing dwelling. Due to the cost of property acquisition, plus the cost of rehabilitating the existing dwelling, Habitat for Humanity would not be able to construct a single new home at a reasonable price for the families it serves. By creating three lots from the parcel, Habitat for Humanity can further spread out the property acquisition costs and deliver three affordable homes for the community.



In addition, by creating 3 lots, Habitat for Humanity can make more efficient use of the land, as well as more efficient use of increasingly scarce road frontage on Slaterville Road.

Does the requested variance represent a relatively minor deviation from the area requirements in question?

The requested variance can be considered a relatively substantial deviation from the minimum lot frontage requirement for the NR Neighborhood Residential zoning district. The proposed lots for which the variance is requested however will conform with all other area dimensions of the zoning district, including lot area, lot width and depth, lot coverage and lot setback requirements.

Would the granting of the requested variance result in an undesirable change in the character of the neighborhood or a detriment to nearby properties?

As noted above many of the residential properties in the surrounding neighborhood exhibit similar deficiencies in terms of lot width, or deficiencies in terms of lot area requirements. Of the 27 properties in the general area of 1932 Slaterville road, 48% do not meet the minimum required lot frontage requirement for the NR-Neighborhood Residential zoning district, while 37% do not meet the minimum required lot area of 1 acre for the zoning district.

Given this existing number and nature of zoning deficiencies on adjacent properties in the neighborhood, no undesirable change in the neighborhood or to individual properties is anticipated due to the granting of the requested variance from the minimum frontage requirement for the proposed Lot #3.

Would the grant of the proposed variance result in an adverse effect or impact on the physical or environmental conditions in the neighborhood or district?

No significant adverse effects or impacts are anticipated as a result of the grant of the requested variance. The existing 3.04-acre parcel is the remnant of an old farmstead with limited vestiges of the former agricultural uses of the parcel, gardens and landscaping. Approximately 2/3 of the site, where the proposed new home would be constructed, is covered with areas that appear to have been recently maintained as lawn areas or vegetable gardens. The remaining 1/3 at the rear of the parcel is old field brush and emerging woodland, with some scattered larger trees.

A review of the Tompkins County Natural Resources Inventory map indicates that there are no Tompkins County Unique Natural Areas or Natural Features Focus Areas, Town Critical Environmental Areas, Important Bird Areas or Agricultural Resources Areas on the property or in the immediate vicinity. There are also no stream/riparian corridors, wetlands or other water

bodies on the property. No known or map historical or archaeological resources are located on the property or in the immediate vicinity. The nearest lands within County Agricultural District #1 are approximately 1,800 feet away.

Is the alleged difficulty self-created?

Yes. The mission of Habitat for Humanity is to provide high quality affordable housing to homebuyers who may not otherwise afford homeownership. This mission is accomplished through a unique combination of sweat equity by the selected future homeowners, volunteer construction crews, donations from residents and businesses, and by stretching our land acquisition dollars to the extent practicable.

Land prices in Ithaca and Tompkins County are comparably higher than surrounding counties. With the limited resources available Habitat for Humanity is often forced to purchase lots for future homes that have existing dimensional deficiencies under local zoning. As a result, the organization must request zoning area variances in the course of a subdivision application or building permit application in order to create an adequate number of buildable lots on such properties.

Site Photos



View east along Slaterville Road.



View west along Slaterville Road



Existing dwelling on site. Proposed driveway to Lot #2 and Lot #3 would be to the left of the utility pole in left-hand photo. Photo on right is taken from near the middle of proposed Lot #3.



Photo of abandoned dwelling at 1933 Slaterville Rd. (left) and apartment building and parking lot at 1925 Slaterville Rd.



View of 1936 Slaterville Rd. from southeast corner of 1932 Slaterville Rd. and view across proposed Lot #3 toward dwelling at 1926 Slaterville Rd.