



**Planning Department**

<u>Director of Planning</u>	<u>Ray Burger</u>
<u>Code Enforcement Officer</u>	<u>David Sprout</u>
<u>Code Enforcement Officer</u>	<u>Steve Cortright</u>
<u>Zoning Officer</u>	<u>Ray Burger</u>
<u>Stormwater Manager</u>	<u>David Sprout</u>
<u>Administrative Coordinator</u>	<u>Joy Foster</u>

93 East Main Street  
 Dryden, NY 13053  
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 joy@dryden.ny.us  
[www.dryden.ny.us](http://www.dryden.ny.us)

**General Permit Application – Sheet 1 General Information**

DO NOT FILL IN SHADED SECTIONS

20190320                      47. -1 -1.38                      Mixed Use Commercial  
 Date:                              Tax Parcel #:                      Zoning District:  
 (COMPLETE) Project  
 Address: 2141 Dryden Rd. Dryden NY 13053

Project Description: Construction of a medical office building with a walkout basement level. Three parking areas totaling 48 parking spaces. Septic and well will be installed

Estimated project cost: \_\_\_\_\_

Principal Use: Residential \_\_\_\_\_ Commercial: X Other: \_\_\_\_\_

Permit(s) Required: X Building X Zoning \_\_\_ Special Use X Site Plan Review \_\_\_ Subdivision \_\_\_ Pool  
 \_\_\_ Heating \_\_\_ Demolition \_\_\_ Pre-built Shed

**Permit Application - Contact Information**

Owner - Print name: Slaterville Springs Real Estate Company, LLC  
 Owner Signature required & dated: *Brad Yentzer* 3/20/19  
 COMPLETE MAILING address: 57 Stark Rd. Newfield NY 13073

E-mail: Brad.Yentzer.md@gmail.com Telephone No: (484) 682-3602

Agent / Applicant - Print : SPEC Consulting  
 Address: 838 Peruville Rd City: Groton State: NY Zip Code: 13073  
 E-mail: GBush@SPECConsulting.com Telephone No: (607) 227-4886

General Contractor: Carina Construction  
 Address: 703 Willow Ave. City: Ithaca State: NY Zip Code: 14850  
 E-mail: Matt@carinaconstruction.com Telephone No: (607) 339-5419

**Mason Contractor:** TBD

Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_

E-mail: \_\_\_\_\_ Telephone No: \_\_\_\_\_

**Electrical Contractor:** TBD

Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_

E-mail: \_\_\_\_\_ Telephone No: \_\_\_\_\_

**HVAC Contractor:** TBD

Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_

E-mail: \_\_\_\_\_ Telephone No: \_\_\_\_\_

**Plumbing Contractor:** TBD

Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_

E-mail: \_\_\_\_\_ Telephone No: \_\_\_\_\_

**Surveyor:** Reagan Land Surveying

Address: 298 Cortland Rd City: Dryden State: NY Zip Code: 13053

E-mail: office@reaganlandsurveying.com Telephone No: (607) 844-8837

**Note:** The Town of Dryden will keep your contact information private.

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**To be completed by Planning Department personnel:**

**Worksheets / sections required:**

Site Plan Sketch Fee : \$250

Site Plan Review (See Fee Schedule)

Special Use Permit (See Fee Schedule)

Notice of Ground Disturbance

Zoning Permit Fee : \$25

Varna Compliance Worksheet

Residential Design Guidelines Compliance

Commercial Design Guidelines Compliance

Sign Compliance Worksheet

Driveway or Roadcut Compliance

Notices and Disclaimer Acknowledgement

Major Subdivision (See Fee Schedule)

Demolition

Lot line Adjustment

Agricultural Data Statement

County Review

Minor Subdivision Fee : \$25

# Permit Application Worksheet # - Building Permit Application

## Instructions

All building permit plans should have the following materials filed with the application:

- A) Floor Plan: An overall floor plan of proposed structure indicating the position of all windows and doors and the location of the garage. Basic dimensions must be included also.
- B) Plans must also include the type of framing to be used in this structure. (Such as wood, masonry, etc.)
- C) Plans must include the roof and roof rafter dimensions as well as the percent of slope or the pitch of the finished roof.
- D) Plans should include an elevation view of the various faces of the structure with height measurements included on the drawing.
- E) Plans should provide a wall section which is representative of the load bearing walls of the structure. Such sections shall show the footers, foundation, floors, exterior walls, soffits, and roof assembly.
- F) The plans should include the size and type of heating system as calculated on the required need of the proposed structure.
- G) A copy of the TOMPKINS COUNTY HEALTH DEPARTMENT approved septic system for the proposed site is required prior to the issuance of a building permit. It would be best to include either a copy or the original or the approved septic system plan. (Tompkins County Health Dept. 274-6688, 8:30 am – 4:30 pm Monday – Friday)
- H) Workers Compensation Form or sign off with an approved Form.

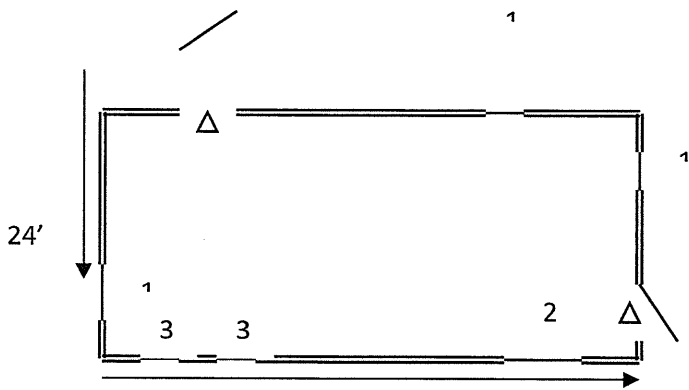
**If there are any questions or concerns regarding the application procedure, you may call the Planning Department for clarification 844-8888 ext. 216 daily 8:00 am – 4:30 pm M-F except holidays or by appointment.**

**SAMPLE SKETCH**

(Showing the type of information that is required from an applicant for residential service)

It is very important that these plans permit this office to determine that the proposed structure is in compliance with the New York State Building Code requirement set forth by the

“STATE FIRE PREVENTION AND BUILDING CODE COUNCIL”, January 1<sup>st</sup>, 1984



**FLOOR PLAN**

Required for each floor

WINDOW SCHEDULE			
MARK	NO.	SIZE	TYPE
1	3	3½ x 4	Dbl Hung
2	1	6 x 4	casement
3	2	3½ x 2	awning

DOOR SCHEDULE			
MARK	NO.	SIZE	TYPE
△	2	3' X 6'8"	insulated metal

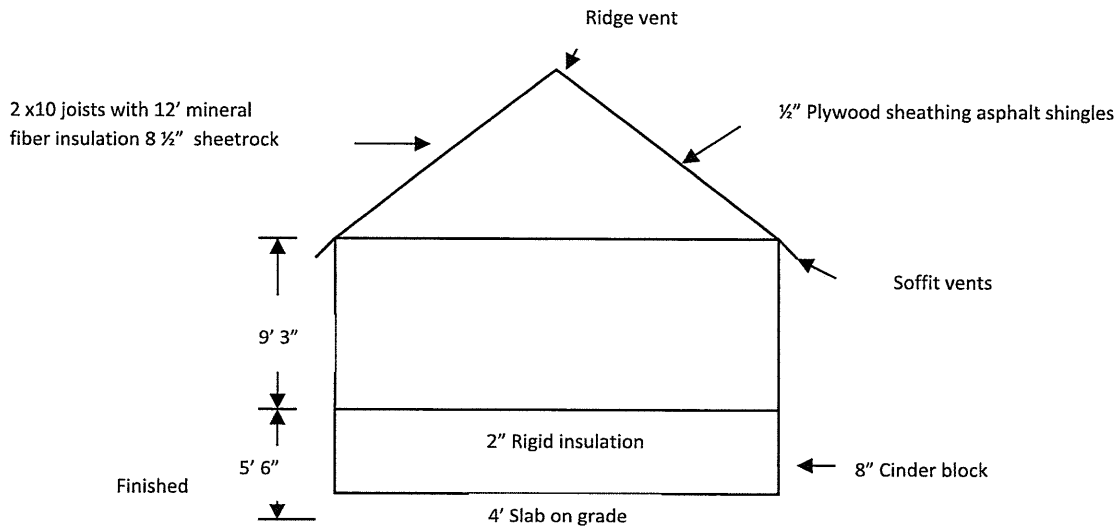
**\*\*\*\*\*PLEASE NOTE\*\*\*\*\***

All plans that are for commercial structures or structures that have more than **1500 SQUARE FEET** of usable space, must be **STAMPED** by a **NYS LICENSED Engineer of Architect.**

**OTHER REQUIREMENTS**

Ceiling Height must be 7' 6". There are exceptions for basements and habitable attic areas.

Effective Dec. 28, 2010 NYS Energy Code requirements have increased. Call for new requirements.



# Building Permit Information

Type of Construction: Wood  Steel \_\_\_\_\_ Masonry \_\_\_\_\_ Other \_\_\_\_\_

Number of Stories 1

Type of Heat & Fuel Source Electric Heat Pump

Number of dwelling units: circle Single Duplex Multi Commercial N/A

Number of Baths: 4-5 Number of Bedrooms: 0

Site-built: \_\_\_\_\_ Modular:  Manufactured: \_\_\_\_\_

Square Footage: First Floor: 3,676 SF Second Floor: \_\_\_\_\_

Basement: 3,596 SF Garage: \_\_\_\_\_

Project Cost: \$750,000

Fee: \_\_\_\_\_

## Basic Building Information

Is this an Existing Building? No, Current Occupancy: \_\_\_\_\_ New Occupancy \_\_\_\_\_

Is this a New Building? Yes, Zoning Permit Needed? \_\_\_\_\_

Number of Dwelling Units: 0, Proposed Change: \_\_\_\_\_

## Zoning Permit Information

Zoning District: \_\_\_\_\_, Subdivision Plat: \_\_\_\_\_, Lot Area: \_\_\_\_\_, Height of Building: \_\_\_\_\_

Zoning Use: \_\_\_\_\_, Site Plan Review and/or Special Use Permit on file: \_\_\_\_\_

Other Permit(s) Required: Special Use, Site Plan Review, Sign: \_\_\_\_\_

### ZONING COMPLIANCE

Site Plan: Please complete the Site Plan Worksheet

Principal Use: Doctor's Office

New or Change of Use:  N Zoning Permit Required (New use and building)? Yes

Required Setbacks: Front 40' Side 0-7.5' Rear 25' Frontage 150'

Does this project comply with Zoning Regulations?  N Project cost: \$750,000

.....  
Building Permit Approved \_\_\_\_\_ Building Permit Denied \_\_\_\_\_

Under Section \_\_\_\_\_ (of the NYS Building Code)

Signature of Code Enforcement Officer \_\_\_\_\_ Date \_\_\_\_\_

Zoning Permit Approved \_\_\_\_\_ Zoning Permit Denied \_\_\_\_\_

Building Permit # \_\_\_\_\_ Zoning Permit # \_\_\_\_\_

## Pre-built Shed

Dimensions \_\_\_\_\_ Electric Yes / No Plumbing Yes / No Heat Yes / No

Placed on \_\_\_\_\_

Installers Insurance submitted Yes / No **OR** Homeowners Insurance waiver signed Yes / No

Does this project comply with Zoning Regulations? Yes / No Project cost: \_\_\_\_\_

## Heating Appliance

Type of Appliance: Boiler \_\_\_\_\_ Forced Air  Freestanding \_\_\_\_\_ Insert \_\_\_\_\_ Fireplace \_\_\_\_\_  
Type of Fuel Source: Oil \_\_\_\_\_ Propane \_\_\_\_\_ Nat. Gas \_\_\_\_\_ Coal \_\_\_\_\_ Wood \_\_\_\_\_ Biomass \_\_\_\_\_ Other   
Chimney or vent type: Masonry \_\_\_\_\_ Metal \_\_\_\_\_ Other \_\_\_\_\_

Manufacturer and number \_\_\_\_\_  
Provide manufactures specifications and location of appliance in the structure including location of vent or chimney. \_\_\_\_\_  
\_\_\_\_\_

Installers Insurance submitted Yes / No **OR** Homeowners Insurance waiver signed Yes / No

Does this project comply with Zoning Regulations? Yes / No Project cost: \_\_\_\_\_

## Demolition

Demolition of \_\_\_\_\_ Location \_\_\_\_\_

Debris buried and where \_\_\_\_\_ Debris removed and where \_\_\_\_\_

Required Disconnects Obtained - Date: Tompkins Co. Health Dept. \_\_\_\_\_ Electric Co. \_\_\_\_\_

Demolisher's Insurance submitted Yes / No **OR** Homeowners Insurance waiver signed Yes / No

- Site Plan: where the demolished structure is now situated and where it is to be buried.
- **Copy of the receipts or the tipping fees** from the land fill if debris is removed from site.
- Asbestos survey of the structure to be demolished has to be submitted with this application. Single-family residence and farm building are exempt from this requirement if the owner is performing the work.
- Delineation of any DEC or Federal Wetlands, any streams or watercourses and any other water shall be noted on the site-plan submitted with this application

## Swimming Pool

Aboveground pool Yes / No In-ground pool Yes / No Pool dimensions \_\_\_\_\_

Location site \_\_\_\_\_

Installers Insurance submitted Yes / No **OR** Homeowners Insurance waiver signed Yes / No Safety handout given Yes / No

Does this project comply with Zoning Regulations? Yes / No Project cost: \_\_\_\_\_

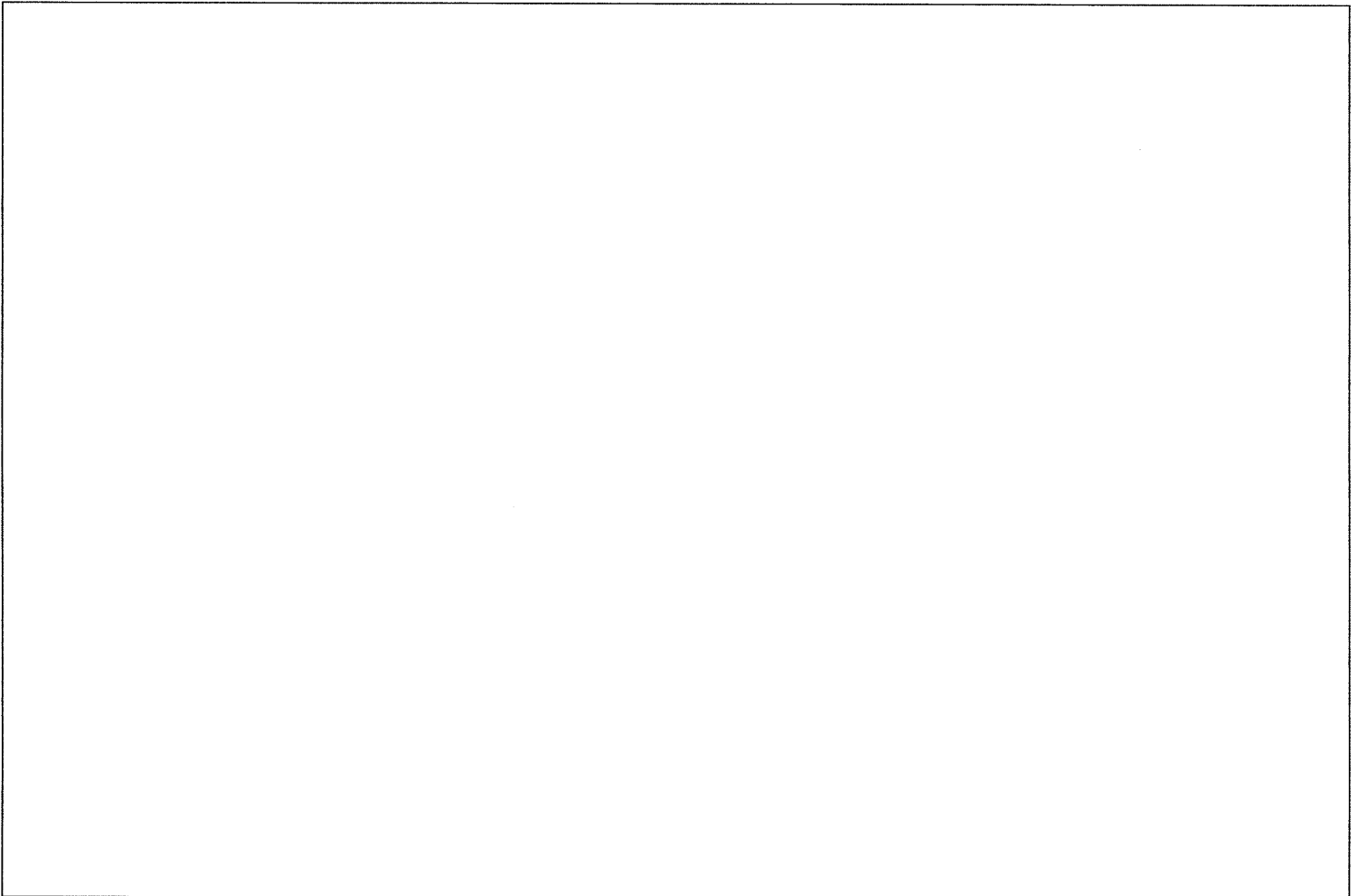
- Renters / Tenants must provide proof of owner approval for this project
- Barriers & Alarms are required. Pools with a deck need a building permit
- Inspection sheet will be mailed with permit
- A **final** inspection from the Town of Dryden Code Enforcement is **Mandatory** to close out permit and allow pool use

# Permit Application Worksheet – Site Plan Sketch Worksheet

In the space below, or on an attached plan, please provide a simple site plan sketch showing the proposed and existing structures (building, garage, fence etc.) as well as any wells and septic systems, or water and sewer lines. You may show the information on a copy of a survey or tax map as long as it is accurate. You are encouraged to write a description of what you want to do in a letter to accompany the drawing, or on the drawing itself.

*Please show the following as they apply to your project (see Zoning Section 1102):*

- The lot, dimensions and features including road frontage.
- Location of proposed and existing structures, parking areas, stormwater management and other features as applicable.
- All existing and proposed driveway & road cuts.
- Topographical features (hills, ravines, etc.) and proposed changes.
- **Yard dimensions and setbacks** including nearby streets, buildings, rights of way and easements within 500 or so feet and names of adjoining property owners.
- Waterbodies and wetlands.
- Water and Sewer Facilities, and/or Well and Septic Facilities.
- Utilities (power lines, phone lines, gas lines etc.),
- Scale (estimate okay)
- North arrow



# Notices and Disclaimers – Signature Required

## 1.) Right to Farm Law

### Be advised:

*“This property may border a farm, as defined in Town of Dryden Local Law #1 of the year 1992, a Local Law known as “Right to Farm Law.” Residents should be aware that farmers have the right to undertake good or acceptable farm practices which may generate dust, odor, smoke, noise, and vibration.”*

**Amendment #12, Local Law #1 of 1992, “Right to Farm Law”** Adopted by Dryden Town Board July 14, 1992, Resolution #130. Local Law #1 of 1992. Effective July 20, 1992.

## Enforcement

The Town of Dryden will strictly enforce all requirements and regulations of both the N.Y.S. Building & Fire Prevention Code and the Town of Dryden Zoning Ordinance. The following is the general policy of the Town of Dryden Planning Department.

- 1) No Building Permits will be issued to any applicant until such time that all other required permits, certificates and documents have been submitted to this office and found to be acceptable and complete.
- 2) No Public Hearings or Town Review will be scheduled for any purpose until this office has reviewed and found that all application and supporting documents are accurate and complete.
- 3) If at any time prior to the issue of an above permit or authority to proceed has been granted, it is found that construction or occupancy has begun or taken place, the violator, and property owner may be prosecuted in a court of law.
- 4) If after permits have been issued a permit holder takes occupancy, opens its doors to the public or uses a permitted device without obtaining a Certificate of Occupancy or Certificate of Compliance, the holder of that permit may be prosecuted in a court of law.
- 5) The Town of Dryden will not tolerate a violation of either the Dryden Town Zoning Ordinance or the New York State Building and Fire Prevention Code. Action will be taken against all violators.
- 6) **Inspections are required** per inspection sheet . A **mandatory final inspection** is required from the Town of Dryden Code Enforcement Officer, to close out permit and to allow use. Permits expire one year from date of issue and will need to be renewed by applicant and a fee of one-half of the permit fee at time of issue will be due. Demolition permits expire six months after issue.

## Fees

- 1) FEES MUST BE SUBMITTED WITH THIS APPLICATION
- 2) You are responsible for complying with these terms and conditions.
- 3) All plans that are for Commercial Use or are more than 1500 Sq. Ft. of usable space in single-family construction must be stamped by a N.Y.S. Licensed Architect or Engineer as to code and construction compliance.



## Escrow

**Reimbursable Costs, fees and disbursements.** The reasonable and necessary costs, fees or disbursements incurred by the Town or its officials for consultation or review by professionals including architects, landscape architect, engineers, surveyors, attorneys or others, on any Application for a Zoning Permit, Certificate of Occupancy, Appeal to the Zoning Board of Appeals, Application for Subdivision Approval, Application for a Planned Unit Development or application for a Special Permit or a Special Permit for a mobile home park shall be paid by the applicant.

## Signature required

By signing you agree that you have read and understand and will be responsible for issued permits.

Owner or responsible party signature: \_\_\_\_\_ Date: 3/20/19  
Print name: Brad Yentzer

## Permit Application Worksheet - Road Cuts

- For all New York State Routes call NYS DOT in Cortland at 756-7072, 8:00 am -4:00 pm daily.
- For Tompkins County Routes, call Tompkins County Highway Dept. in Ithaca, NY at 274-0300 8:00 am – 4:00 pm daily.
- For Dryden Town Routes call Dryden Town Highway at 844-8888 ext.402, 7:00 am – 4:00 pm Monday – Thursday.