

Michael Moore & Kathleen Moore (Owners).
4-Season Storage Tompkins LLC
PO Box 3904 Ithaca NY 14852

October 13, 2020

Town of Dryden Planning Board
Attn: Ray Burger, Director of Planning & David Sprout, Zoning Officer & Stormwater Officer.
93 East Main Street Dryden NY 13053

Re: Proposal to build a third storage building at the current site of 4-Season Storage, located at 1400 Dryden Road in the town of Dryden (Tax map number 52.-1-8.5).

Michael & Kathleen Moore (4-Season Storage Tompkins LLC) are proposing to construct a third storage building at the current 4-Season Storage facility located at 1400 Dryden Road in the Town of Dryden.

The new building will consist of One Hundred and Twenty-Three climate controlled storage units contained in a One Hundred and Two by One Hundred and Sixty-Seven foot building. The building will be built behind the second storage building as outlined in the site plan attached. There will be one entrance door and an additional three fire exit doors. The entranceway will be covered by a gable roof for safety and convenience for our customers. The color and style of the building will be consistent with the other two storage buildings that are currently on site, (there will be no "orange" Roll up doors on the new building). The driveway leading to the building will be gravel. Exterior lighting will be similar to the current lighting on the other two buildings (see building plan enclosed).

We are requesting that the planning board consider reducing the number of parking spaces required to 50%, as we will not need many parking spaces as our customers are only there to unload or load their personal belongings through one entrance doorway. Additionally there will be no office in the new building, eliminating the need for any staff parking.

A Stormwater management plan has been submitted to David Sprout. I have enclosed a few of the pages of the plan for your reference.

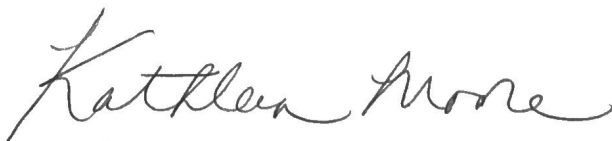
I have discussed the site plan and new building location with Michael Hall, the Dryden Fire Chief and have enclosed an email from him indicating that the site plan covers all of his code access requirements for the new building.

Thank you for your consideration of our request.

Sincerely,



Michael Moore



Kathleen Moore



Planning Department

Director of Planning
Code Enforcement Officer
Code Enforcement Officer
Zoning Officer
Stormwater Officer
Administrative Coordinator

Ray Burger
Kevin Ezell
David Sprout
David Sprout
David Sprout
Joy Foster

93 East Main Street
Dryden, NY 13053
T 607 844-8888 Ext. 216
F 607 844-8008
Joy@dryden.ny.us
www.dryden.ny.us

General Permit Application – Sheet 1 General Information

DO NOT FILL IN SHADED SECTIONS

Date: 9/16/2020 Tax Parcel #: 52-1-8.5

Zoning District: Highway Comm.

(Complete) Project

Address: 4-SEASON STORAGE 1400 DRYDEN ROAD

Project Description: CONSTRUCT THIRD STORAGE BUILDING ON SITE.
147 FEET LONG BY 103 FEET WIDE.

Principal Use: Residential _____ Commercial: Other: _____

Permit(s) Required: Building Zoning Special Use Site Plan Review Subdivision Pool
 Heating Demolition Pre-built Shed

To be completed by Planning Department personnel:

Worksheets / sections required:

- | | |
|---|---|
| <input type="checkbox"/> Site Plan Sketch | <input type="checkbox"/> Driveway or Roadcut Compliance |
| <input type="checkbox"/> Site Plan Review | <input type="checkbox"/> Notices and Disclaimer Acknowledgement |
| <input type="checkbox"/> Special Use Permit | <input type="checkbox"/> Agricultural Data Statement |
| <input type="checkbox"/> Notice of Ground Disturbance | <input type="checkbox"/> County Review |
| <input type="checkbox"/> Zoning Permit | <input type="checkbox"/> Minor Subdivision |
| <input type="checkbox"/> Varna Compliance Worksheet | <input type="checkbox"/> Major Subdivision |
| <input type="checkbox"/> Residential Design Guidelines Compliance | <input type="checkbox"/> Demolition |
| <input type="checkbox"/> Commercial Design Guidelines Compliance | <input type="checkbox"/> Lot Line Adjustment |
| <input type="checkbox"/> Sign Compliance Worksheet | |

Notes:

Permit Application - Contact Information

Owner - Print name: 4-SEASON STORAGE TOMPKINS LLC MICHAEL MOORE

Owner Signature required & dated: Michael Moore 5/18/2020

Address: PO Box 3904 City: ITHACA State: NY Zip Code: 14852

E-mail: MC MOORE @ WARREN HOMES, com Telephone No: 607-327-2526

Emergency Contact: KATHLEEN MOORE Telephone No.: 607-327-0921

Agent / Applicant - Print: MICHAEL MOORE

Address: PO Box 3904 City: ITHACA State: NY Zip Code: 14850

E-mail: MC MOORE @ WARREN HOMES, com Telephone No: 607-327-2526

General Contractor: John MAKINSTER License # _____

Address: 57 Yellow Rock Lane City: HOESWAAS State: NY Zip Code: 14845

E-mail: 57BOMAK1502@gmail.com Telephone No: 607-738-7816

Mason Contractor: John MAKINSTER License # 11

Address: _____ City: _____ State: _____ Zip Code: _____

E-mail: _____ Telephone No: _____

Electrical Contractor: RONALD PANCOE License # _____

Address: 121 W. MAIN ST City: DRYDEN State: NY Zip Code: 13053

E-mail: RCFRP@yahoo.com Telephone No: 607-279-5792

HVAC Contractor: RONALD PANCOE License # 11

Address: _____ City: _____ State: _____ Zip Code: _____

E-mail: _____ Telephone No: _____

Plumbing Contractor: RONALD PANCOE License # 11

Address: _____ City: _____ State: _____ Zip Code: _____

E-mail: _____ Telephone No: _____

Surveyor: MICHAEL REAGAN License # _____

Address: 298 CORTLAND ROAD City: DRYDEN State: NY Zip Code: 13053

E-mail: Office @ REAGANland Surveying, com Telephone No: 607-844-8837

Note: The Town of Dryden will keep your contact information private.

CUT: _____

Application from _____	for _____
Project Site _____	received on _____
Payment received \$ _____	Cash <input type="checkbox"/> Check <input type="checkbox"/> Credit Card <input type="checkbox"/> (circle one)
Signature of receiver _____	Date _____

[Quoted text hidden]

Chief NHC <chief@dryden.org>
To: Mike Moore <mcmoore@warrenhomes.com>

Thu, Feb 13, 2020 at 10:57 AM

Mr. Moore

Follow up to our conversation, In reference to building height NYS Fire Code Section D105.1 covers these requirements which it sounds like you will be under the 30' height.

NYS Fire Code section 511.2.2 references Turnarounds on Fire apparatus access roads. Section D103.1 covers access road turnarounds, which it sounds and appears from our conversation the driveway being extended to the new facility will meet these requirements.

Thank you for including us in your site development planning, any additional changes, comments or questions please don't hesitate to contact me.

Thank You
Michael Hall, Chief
Dryden Fire Department
26 North St
Dryden NY 13053
(607) 592-9922

[Quoted text hidden]

General Permit Application Worksheet - Special Use Permit

Below or on a separate sheet, or in a letter of application, please provide the information required in the list below. All Special Use Permits require Site Plan Review, and applications must proceed beyond Sketch Plan Review in that procedure in order to be approved. The Town Board may waive further Site Plan Review based upon the Sketch Plan (see Site Plan Review Worksheet)

As you can see from the requested information, Special Use Permits are allowed uses so long as they are not disruptive to neighboring properties. The actual performance of the site with regard to traffic, lighting etc. is addressed in the Site Plan Review process. The Town Board may, and likely will, condition any approval to ensure this compatibility (letter E. below). These conditions often have to do with hours of operation, lighting, signs, and outdoor storage that will also have to be shown on the approved Sketch Plan, or Site Plan (if required).

- A. Compatibility of the proposed use with the other permitted uses in the district and the purposes of the district set forth in this Ordinance;

Please refer to the Zoning Ordinance (Section 400) and review the descriptions of the zoning districts. These generally describe the intent of the district. Your application should refer to the proper description and state why your proposed project is compatible with the intent of the zoning district.

ADDITION of THIRD STORAGE BUILDING at
1400 DRYDEN ROAD STORAGE FACILITY.

- B. Compatibility of the proposed use with adjoining properties and with the natural and manmade environment;

This requirement is concerned with compatibility with neighbors, and the environment. This is mainly concerned with the over use of the property, and appearance. Essentially how does the proposal blend in with the existing neighborhood?

CURRENT OPERATION IS EXISTING STORAGE
FACILITY. ADDING THIRD BUILDING TO SITE.

- C. Adequacy of parking, vehicular circulation, and infrastructure for the proposed use, and accessibility for fire, police, and emergency vehicles;

Here, describe how utilities (phone, gas, water, sewer, etc.) will serve the site. And a basic description or reference to the Site Plan Review documents with regard to parking and circulation.

CURRENT facility HAS NO SEWER OR WATER.
Existing gas line will be extended to third
& Proposed Building.
FIRE CHIEF CONSULTED (SEE ATTACHED).

- D. The overall impact on the site and its surroundings considering the environmental, social and economic impacts of traffic, noise, dust, odors, release of harmful substances, solid waste disposal, glare, or any other nuisances;

The potential environmental impacts, or not, of the project should be described here, along with the ways that these impacts will be lessened, or made better. You may want to supply this on a separate sheet to be included in Part D. of the long Environmental Assessment Form.

NEW BUILDING WILL HAVE VERY LITTLE IMPACT
ON TRAFFIC AS STORAGE FACILITIES CAUSE VERY LOW
INCREASE OF TRAFFIC.
SPPP PLAN SUBMITTED.

- E. Restrictions and/or conditions on design of Structures or operation of the use (including hours of operation) necessary either to ensure compatibility with the surrounding uses or to protect the natural or scenic resources of the Town;

Here please indicate how the Site Plan and other operational approaches will reduce impacts, or improve, the compatibility with surrounding uses.

THE ADDITION OF THE THIRD STORAGE BUILDING
WILL HAVE LITTLE IMPACT ON SURROUNDING USES.

- F. Compliance with the requirements for site plan review, including conformity to the Town's Residential and Commercial Design Guidelines.

Please review the appropriate design guidelines and state how your project reflects the ideas included in the design guidelines such as vegetation along roadway, peaked roof, lighting, parking on side or in the rear of the building etc.

Building Plans have been submitted with this Application. The THIRD BUILDING ^{DESIGN} WITH will be the same color and similar design as existing 2 buildings. The only difference will be NO ORANGE ROLL UP DOORS, AS THE 3RD BUILDING WILL ALL BE INTERIOR CLIMATE CONTROLLED SPACE.

Notices and Disclaimers – Signature Required

1.) Right to Farm Law

Be advised:

"This property may border a farm, as defined in Town of Dryden Local Law #1 of the year 1992, a Local Law known as "Right to Farm Law." Residents should be aware that farmers have the right to undertake good or acceptable farm practices which may generate dust, odor, smoke, noise, and vibration."

Amendment #12, Local Law #1 of 1992, "Right to Farm Law" Adopted by Dryden Town Board July 14, 1992, Resolution #130. Local Law #1 of 1992. Effective July 20, 1992.

Enforcement

The Town of Dryden will strictly enforce all requirements and regulations of both the N.Y.S. Building & Fire Prevention Code and the Town of Dryden Zoning Ordinance. The following is the general policy of the Town of Dryden Planning Department.

- 1) No Building Permits will be issued to any applicant until such time that all other required permits, certificates and documents have been submitted to this office and found to be acceptable and complete.
- 2) No Public Hearings or Town Review will be scheduled for any purpose until this office has reviewed and found that all application and supporting documents are accurate and complete.
- 3) If at any time prior to the issue of an above permit or authority to proceed has been granted, it is found that construction or occupancy has begun or taken place, the violator, and property owner may be prosecuted in a court of law.
- 4) If after permits have been issued a permit holder takes occupancy, opens its doors to the public or uses a permitted device without obtaining a Certificate of Occupancy or Certificate of Compliance, the holder of that permit may be prosecuted in a court of law.

- 5) The Town of Dryden will not tolerate a violation of either the Dryden Town Zoning Ordinance or the New York State Building and Fire Prevention Code. Action will be taken against all violators.
- 6) **Inspections are required** per inspection sheet. A **mandatory final inspection** is required from the Town of Dryden Code Enforcement Officer, to close out permit and to allow use. Permits expire one year from date of issue and will need to be renewed by applicant and a fee of one-half of the permit fee at time of issue will be due. Demolition permits expire six months after issue.

Fees

- 1) FEES MUST BE SUBMITTED WITH THIS APPLICATION
- 2) You are responsible for complying with these terms and conditions.
- 3) All plans that are for Commercial Use or are more than 1500 Sq. Ft. of usable space in single-family construction must be stamped by a N.Y.S. Licensed Architect or Engineer as to code and construction compliance.

Special Use Permit Fee: \$165

Planned Unit Development SUP: \$250

Large Scale Retail Development SUP: \$250

Escrow

Reimbursable Costs, fees and disbursements. The reasonable and necessary costs, fees or disbursements incurred by the Town or its officials for consultation or review by professionals including architects, landscape architect, engineers, surveyors, attorneys or others, on any Application for a Zoning Permit, Certificate of Occupancy, Appeal to the Zoning Board of Appeals, Application for Subdivision Approval, Application for a Planned Unit Development or application for a Special Permit or a Special Permit for a mobile home park shall be paid by the applicant.

Signature required

By signing you agree that you have read and understand and will be responsible for issued permits.

Owner or responsible party signature:  Date: 9/14/2020

Print name: W. MICHAEL MOORE

Short Environmental Assessment Form

Part 1 - Project Information


Instructions for Completing

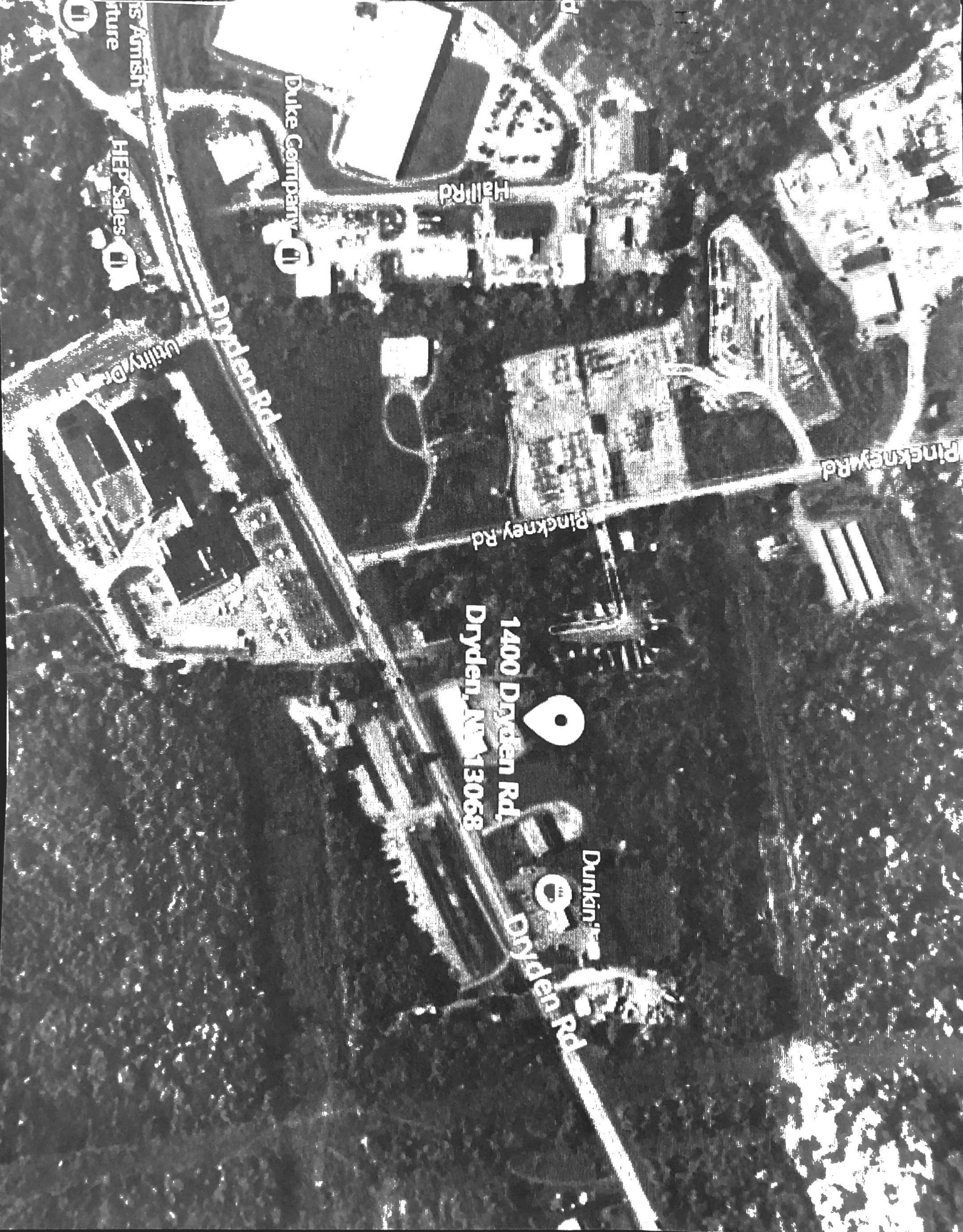
Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
4-Season Storage Tompkins LLC / Michael Moore			
Name of Action or Project: Construction of third storage building located at the current site of 4-Season Storage 1400 Dryden Road Ithaca NY			
Project Location (describe, and attach a location map): 1400 Dryden Road Ithaca NY (Current site of 4-Season Storage)			
Brief Description of Proposed Action: Construct a third climate controlled storage building on the current site.			
Name of Applicant or Sponsor: Michael Moore		Telephone: 607-327-2526	
		E-Mail: mcmoore@warrenhomes.com	
Address: PO Box 3904			
City/PO: Ithaca		State: NY	Zip Code: 14852
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		3.07 acres	
b. Total acreage to be physically disturbed?		.80 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		3.07 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input checked="" type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input checked="" type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input checked="" type="checkbox"/> Other(Specify): Gas Station, Dunkin Donut, NYSEG			
<input type="checkbox"/> Parkland			

	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources?	NO	YES
If Yes,	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If Yes, briefly describe: _____ _____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?	NO	YES
If Yes, explain the purpose and size of the impoundment: _____ See attached SWPPP	<input type="checkbox"/>	<input checked="" type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?	NO	YES
If Yes, describe: _____ _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?	NO	YES
If Yes, describe: _____ _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor/name: <u>MICHAEL MOORE / 4-SEASON STORAGE</u> Date: <u>9/16/2020</u> Signature: <u></u> Title: <u>OWNER</u>		



1400 Dryden Rd,
Dryden, NY 13068



Dunkin'
Dryden Rd

Duke Company

HEP Sales

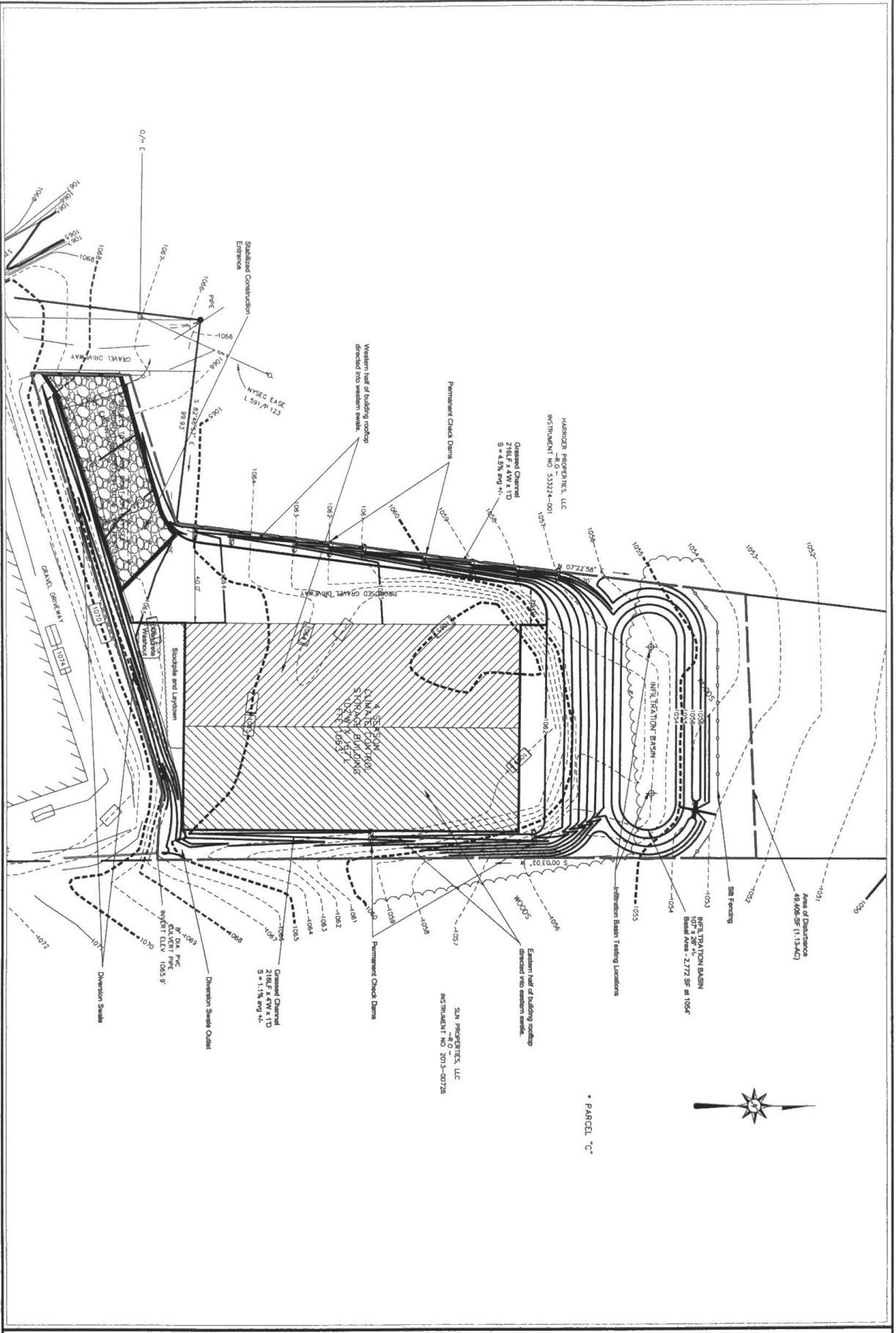
Amish Furniture

Hall Rd

Pinkney Rd

Dryden Rd

Utility Dr



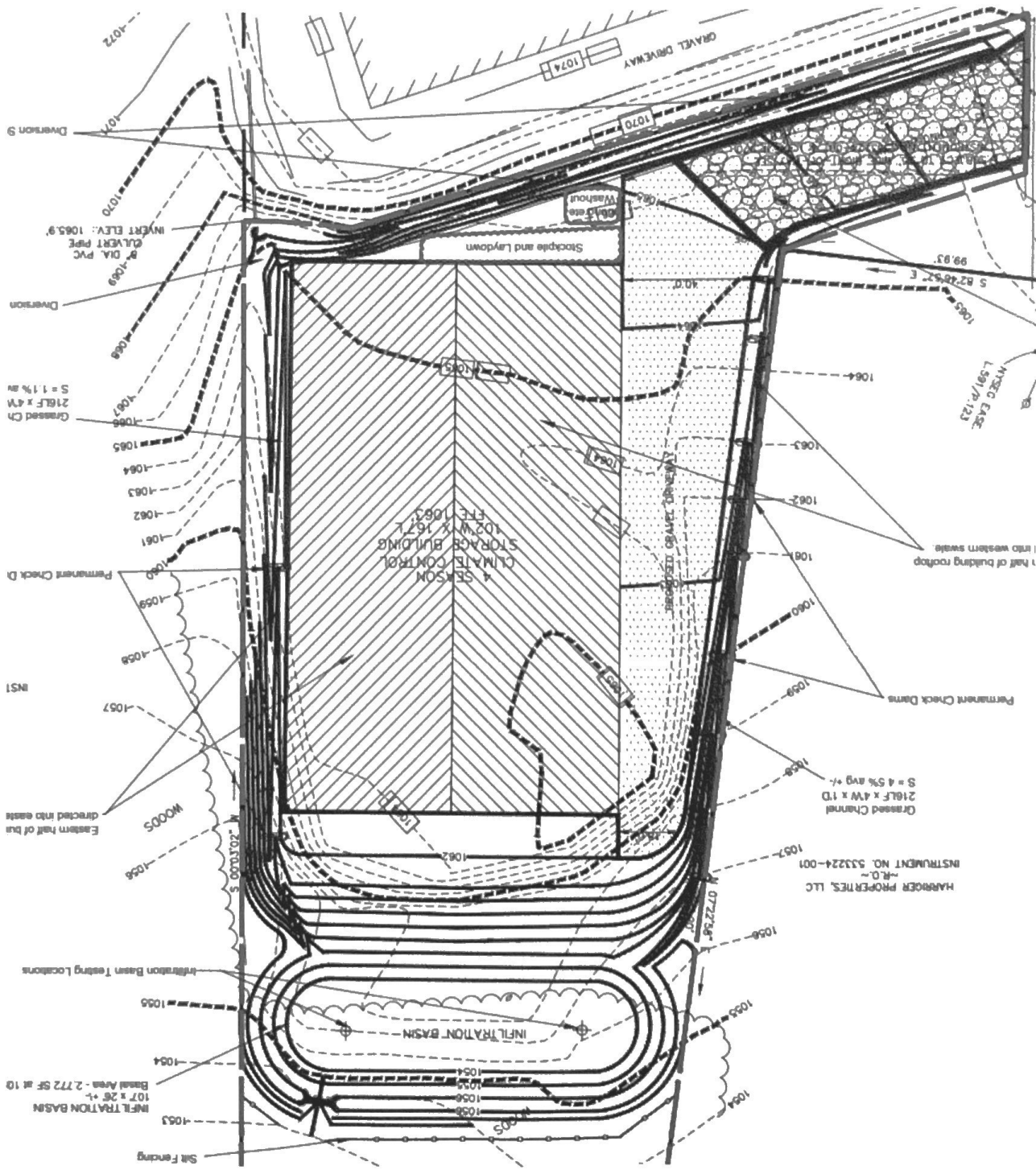
MOORE STORAGE
EROSION & SEDIMENT CONTROL PLAN
 1400 DRYDEN ROAD, DRYDEN, NY

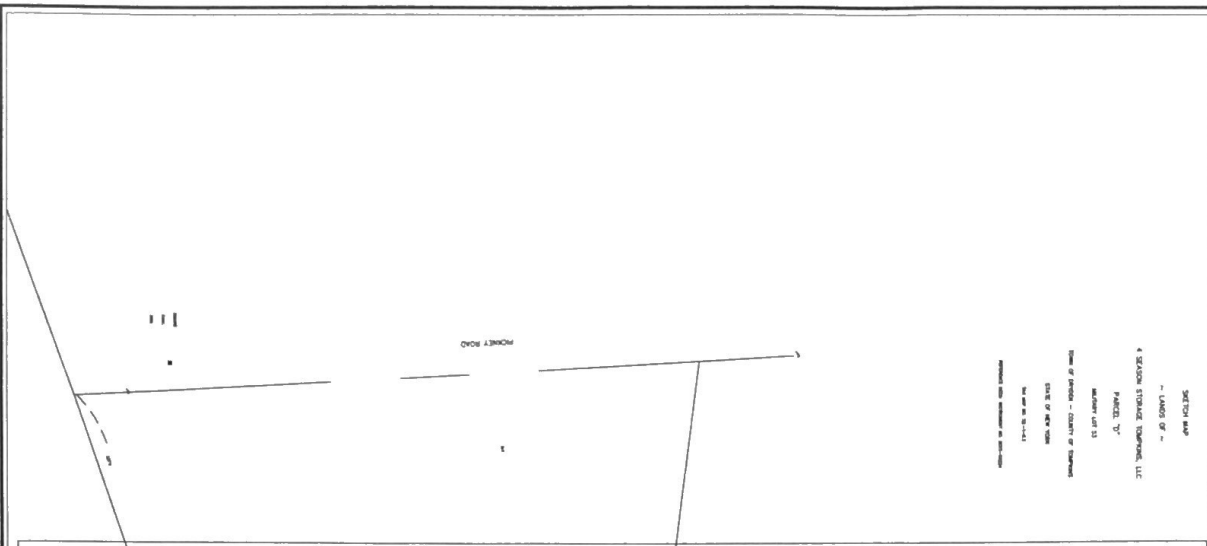
Project SOG 5-15-20 1" = 20' Sheet ST-2	Date: _____ Drawing No.: _____
--	-----------------------------------



LAWRENCE FABBIONI, P.E., L.S.
 1 SETTLEMENT WAY
 ITHACA, NEW YORK 14850
 Phone (607) 257-2196

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2						
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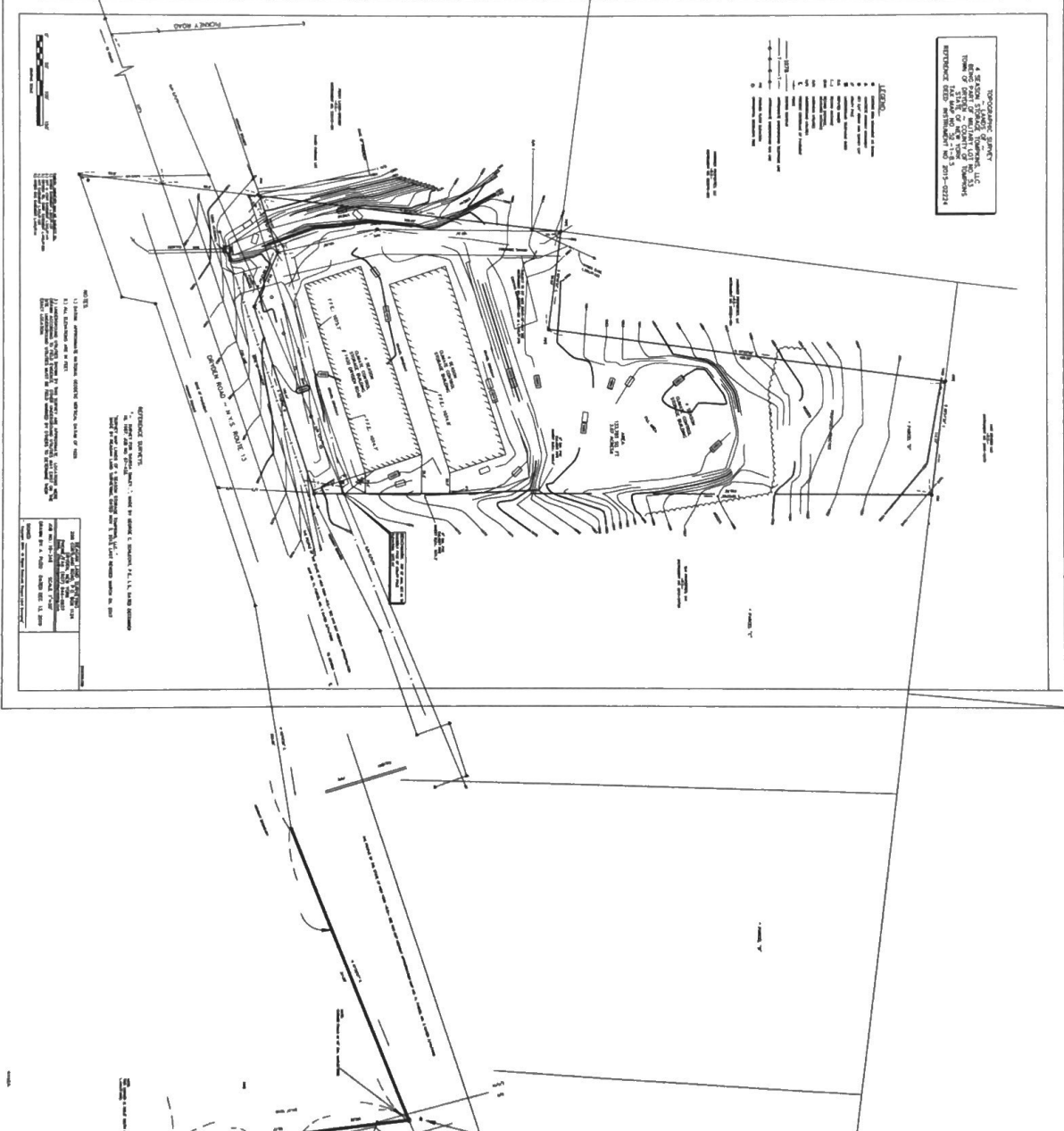




SHEET NO. 1
 LANDS OF
 MOORE STORAGE TERMINAL, L.L.C.
 PARCEL NO. 11
 COUNTY OF CATTARAUGUS
 STATE OF NEW YORK
 DATE OF SURVEY 08-14-13

TOPOGRAPHIC SURVEY
 A SURVEY OF THE LANDS OF
 MOORE STORAGE TERMINAL, L.L.C.
 PARCEL NO. 11, COUNTY OF CATTARAUGUS,
 STATE OF NEW YORK, BY
 LAWRENCE FARRONI, P.E., L.S.
 REFERENCE TO MAP NO. 100-100-100-100-100

- LEGEND
- 1. Proposed Storage Area
 - 2. Proposed Access Road
 - 3. Proposed Utility Lines
 - 4. Proposed Fencing
 - 5. Proposed Driveway
 - 6. Proposed Parking Area
 - 7. Proposed Office Building
 - 8. Proposed Fuel Tank
 - 9. Proposed Dumpster
 - 10. Proposed Sign
 - 11. Proposed Survey Points
 - 12. Proposed Easement
 - 13. Proposed Right-of-Way
 - 14. Proposed Easement
 - 15. Proposed Easement
 - 16. Proposed Easement
 - 17. Proposed Easement
 - 18. Proposed Easement
 - 19. Proposed Easement
 - 20. Proposed Easement



ATTORNEY CERTIFICATE
 I, LAWRENCE FARRONI, P.E., L.S., being an attorney at law in the State of New York, do hereby certify that the above described lands are the lands of Moore Storage Terminal, L.L.C., and that the same are being surveyed for the purpose of the above described site plan.

NO.	DESCRIPTION	DATE
1	MOORE STORAGE TERMINAL, L.L.C.	08-14-13
2	MOORE STORAGE TERMINAL, L.L.C.	08-14-13
3	MOORE STORAGE TERMINAL, L.L.C.	08-14-13
4	MOORE STORAGE TERMINAL, L.L.C.	08-14-13
5	MOORE STORAGE TERMINAL, L.L.C.	08-14-13
6	MOORE STORAGE TERMINAL, L.L.C.	08-14-13
7	MOORE STORAGE TERMINAL, L.L.C.	08-14-13
8	MOORE STORAGE TERMINAL, L.L.C.	08-14-13
9	MOORE STORAGE TERMINAL, L.L.C.	08-14-13
10	MOORE STORAGE TERMINAL, L.L.C.	08-14-13
11	MOORE STORAGE TERMINAL, L.L.C.	08-14-13
12	MOORE STORAGE TERMINAL, L.L.C.	08-14-13
13	MOORE STORAGE TERMINAL, L.L.C.	08-14-13
14	MOORE STORAGE TERMINAL, L.L.C.	08-14-13
15	MOORE STORAGE TERMINAL, L.L.C.	08-14-13
16	MOORE STORAGE TERMINAL, L.L.C.	08-14-13
17	MOORE STORAGE TERMINAL, L.L.C.	08-14-13
18	MOORE STORAGE TERMINAL, L.L.C.	08-14-13
19	MOORE STORAGE TERMINAL, L.L.C.	08-14-13
20	MOORE STORAGE TERMINAL, L.L.C.	08-14-13

MOORE STORAGE
 SITE PLAN
 1400 DRYDEN ROAD, DRYDEN, NY

Scale: 1" = 50'

ST-1



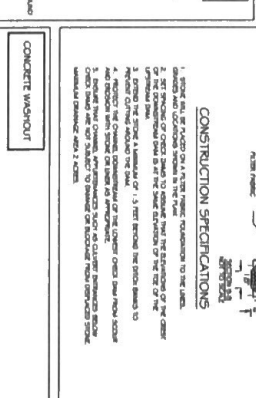
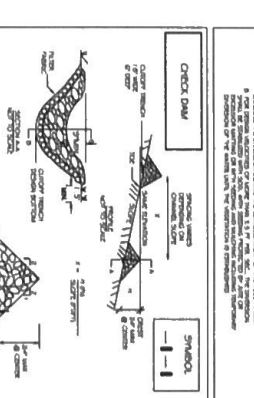
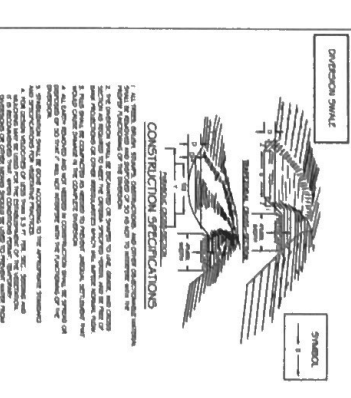
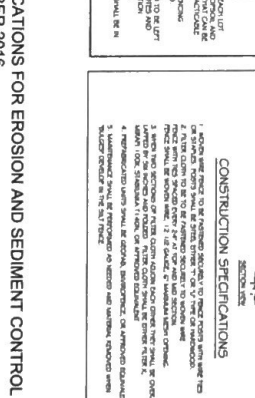
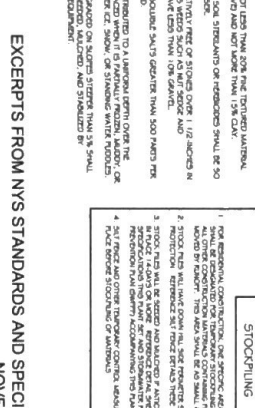
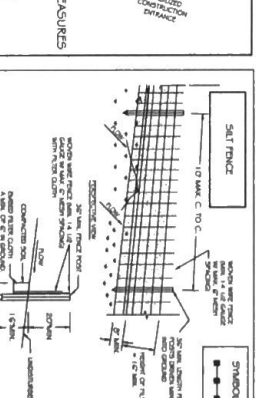
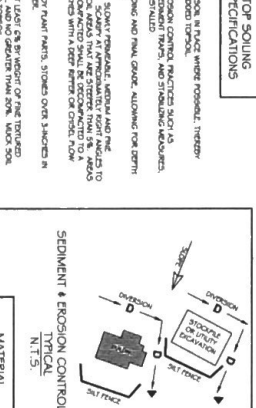
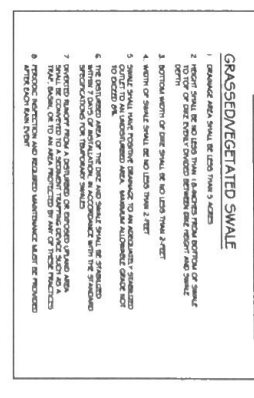
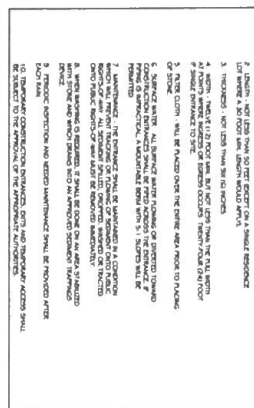
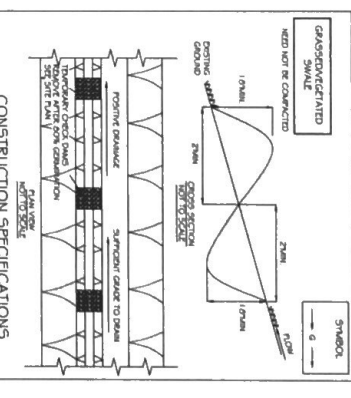
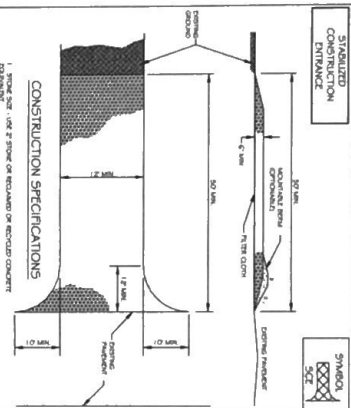
LAWRENCE FARRONI P.E., L.S.
 1 SETTLEMENT WAY
 ITHACA, NEW YORK 14860
 Phone: (607) 257-2190

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GENERAL NOTES

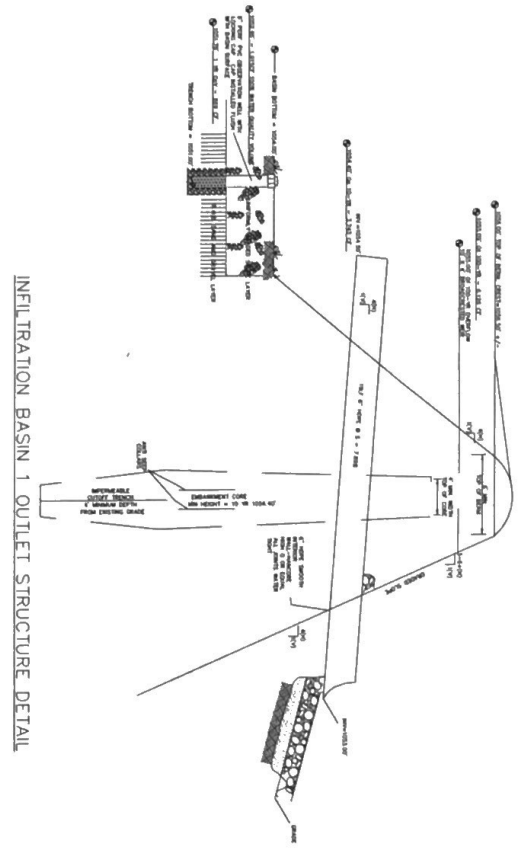
1. ALL STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, NOVEMBER 2016

1. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED ON ALL EXPOSED SOIL SURFACES TO BE PROTECTED.
2. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION ACTIVITY.
3. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION UPON COMPLETION OF CONSTRUCTION.
4. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION UPON COMPLETION OF CONSTRUCTION.
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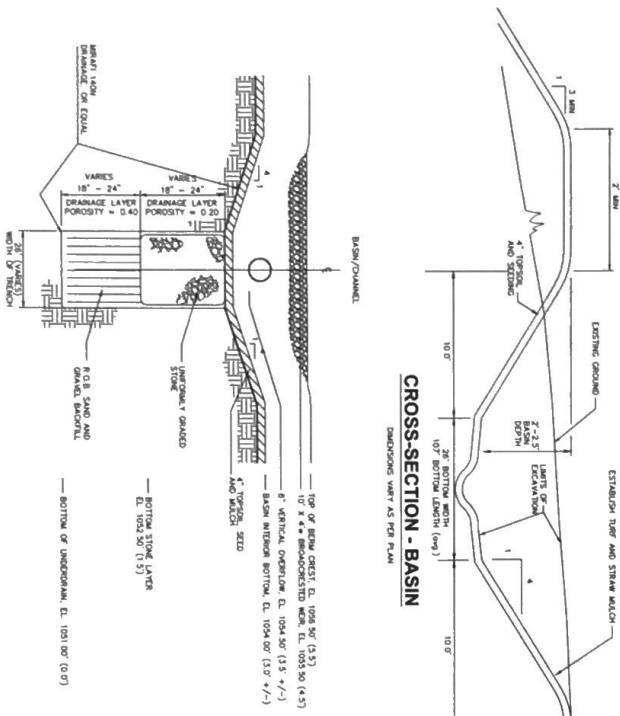


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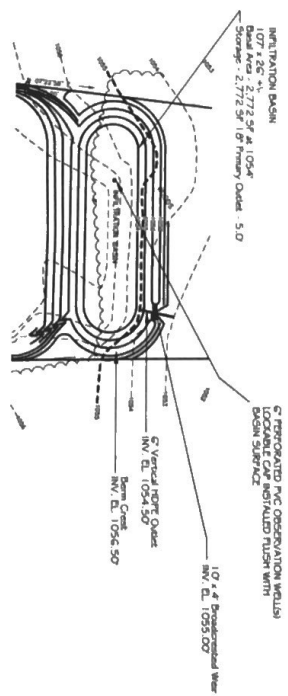
INFILTRATION BASIN 1 OUTLET STRUCTURE DETAIL



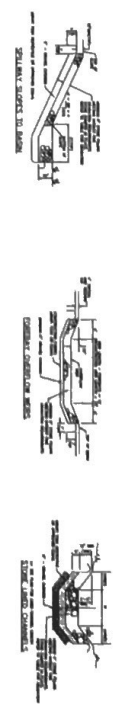
CROSS-SECTION - BASIN
DIMENSIONS VARY AS PER PLAN

Basin Volume Certification:
Upon completion of construction, a basin volume certification shall be provided and certified by a licensed professional engineer or land surveyor to ensure that the structure meets the storage volume requirements contained on this sheet. Certification shall be submitted to the local reviewing jurisdiction for approval.

Infiltration Basin Plan



TYPICAL OUTLET, OVERFLOW, AND CHANNEL DETAILS
REFERENCE THE BASIN PLAN & SECTION SHEETS FOR
ELEVATIONS, DIMENSIONS, LINES & GRADES



Basin Volume Certification

Basin No.	Volume (cu ft)	Volume (cu yd)	Volume (MG)
1	1000	37	0.0001
2	2000	74	0.0002
3	3000	111	0.0003
4	4000	148	0.0004
5	5000	185	0.0005
6	6000	222	0.0006
7	7000	259	0.0007
8	8000	296	0.0008
9	9000	333	0.0009
10	10000	370	0.0010

MOORE STORAGE
INFILTRATION BASIN DETAILS
1400 DRYDEN ROAD, DRYDEN, NY



LAWRENCE FABBRONI, P.E., L.S.
1 SETTLEMENT WAY
ITHACA, NEW YORK 14850
Phone: (607) 857-2106

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Sheet No. ST-4
Scale: 1/8" = 1'-0"
Date: 11-15-20
Drawn by: T.S.

Existing Subcatchment - 1 (ESC-1)
 Proposed Site Conditions - Area 67, 335-SF (1.41-AC)

Surface Conditions & Soils:
 73.0% Min - Marmadee Fill - Hydrologic Soil Group (HSG) D
 27.0% - ChB - Chenango - Hydrologic Soil Group (HSG) A

Runoff Curve Number = 98, Gravel Drive, Roof - HSG D Soils
 Runoff Curve Number = 98, Gravel Drive, HSG A Soils
 Runoff Curve Number = 30, Woods, HSG A Soils

Overland Stormwater Runoff - Longest Flowpath = 288ft +/-
 Sheet Flow, Smooth Surfaces, 31-LF @ S = 33.0% avg +/-
 Shallow Conc. Flow, Unpaved, 20-LF @ S = 1.0% avg +/-
 Shallow Conc. Flow, Grassed Waterway, 20-LF @ S = 25.0% avg +/-
 Shallow Conc. Flow, Grassed Waterway, 217-LF @ S = 5.0% avg +/-

To Design Point - (DPP)

Proposed Subcatchment - 3 (PSC-3)
 Proposed Site Conditions - Area 26,972-SF (0.62-AC)

Surface Conditions & Soils:
 59.0% Min - Marmadee Fill - Hydrologic Soil Group (HSG) D
 41.0% ChB - Chenango - Hydrologic Soil Group (HSG) A

Runoff Curve Number = 98, Gravel Drive, Roof - HSG D Soils
 Runoff Curve Number = 39, >75% Grass Cover, HSG A Soils

Overland Stormwater Runoff - Longest Flowpath = 330ft +/-
 Sheet Flow - Smooth Surfaces, 87-LF @ S = 3.4% avg +/-
 Trap/Vee Channel Flow, 243-LF @ S = 4.1% avg +/-

To Design Point - (DPP)

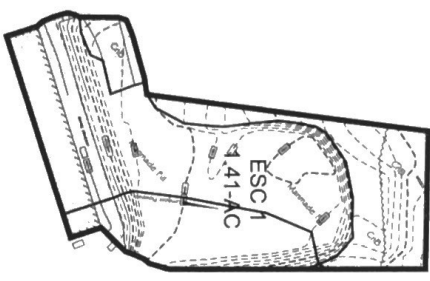
Proposed Subcatchment - 2 (PSC-2)
 Proposed Site Conditions - Area 16,671-SF (0.38-AC)

Surface Conditions & Soils:
 76.0% Min - Marmadee Fill - Hydrologic Soil Group (HSG) D
 24.0% ChB - Chenango - Hydrologic Soil Group (HSG) A

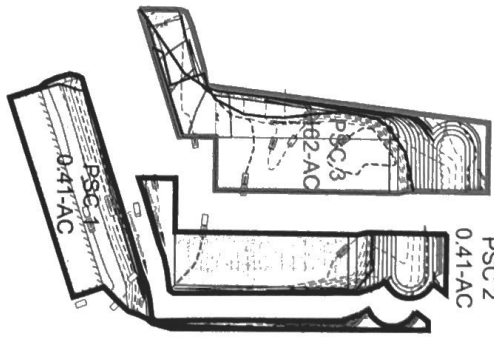
Runoff Curve Number = 98, Gravel Drive, Roof - HSG D Soils
 Runoff Curve Number = 39, >75% Grass Cover, HSG A Soils
 Runoff Curve Number = 80, >75% Grass Cover, HSG D Soils

Overland Stormwater Runoff - Longest Flowpath = 350ft +/-
 Sheet Flow - Dense Grass, 100-LF @ S = 2.0% avg +/-
 Shallow Conc. Flow, Grassed Waterway, 9-LF @ S = 2.0% avg +/-
 Trap/Vee Channel Flow, 241-LF @ S = 3.3% avg +/-

To Design Point - (DPP)



EXISTING SUBCATCHMENT



PROPOSED SUBCATCHMENT

DPE

DPP

Proposed Subcatchment - 1 (PSC-1)
 Proposed Site Conditions - Area 17,773-SF (0.41-AC)

Surface Conditions & Soils:
 94.0% Min - Marmadee Fill - Hydrologic Soil Group (HSG) D
 6.0% ChB - Chenango - Hydrologic Soil Group (HSG) A

Runoff Curve Number = 98, Gravel Drive, Roof - HSG D Soils
 Runoff Curve Number = 39, >75% Grass Cover, HSG A Soils
 Runoff Curve Number = 80, >75% Grass Cover, HSG D Soils

Overland Stormwater Runoff - Longest Flowpath = 534ft +/-
 Sheet Flow, Smooth Surfaces, 31-LF @ S = 30.0% avg +/-
 Shallow Conc. Flow, Unpaved, 21-LF @ S = 1.0% avg +/-
 Shallow Conc. Flow, Grassed Waterway, 21-LF @ S = 25% avg +/-
 Trap/Vee Channel Flow, 461-LF @ S = 2.8% avg +/-

To Design Point - (DPP)

REFERENCE HYDROCAD (HYDRAULIC & HYDROLOGIC) MODELING RESULTS PRESENTED WITH THESE PLANS

No.	Date	Description
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 1 SETTLEMENT WAY
 ITHACA, NEW YORK 14850
 Phone (607) 257-2196



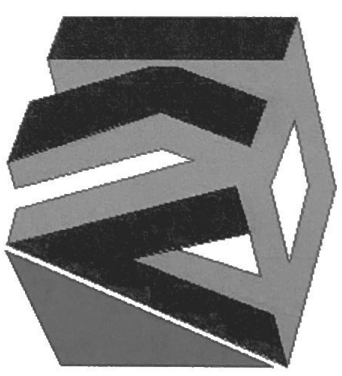
MOORE STORAGE
 HYDRAULIC AND HYDROLOGIC WORKSHEET

1400 DRYDEN ROAD, DRYDEN, NY

Project: SDC
 Date: 5-15-20
 Scale: N T S
 Sheet: ST-5

4 SEASON STORAGE, TOMPKINS, LLC

1400 DRYDEN RD
 ITHACA, NY 14850
 KVENG PROJECT 01037



KV ENGINEERING
 P.L.L.C.
 66 PHILO ROAD WEST
 ELMIRA, NY 14903

PH: 607.739.8800 FX: 607.796.0374

DRAWING LIST

03	COVER SHEET
01	GENERAL NOTES
02	GENERAL NOTES
01	FOUNDATION PLAN
02	FOUNDATION DETAILS
03	ROOF FRAMING PLAN
01	FLOOR PLAN
02	ELEVATIONS
03	SECTIONS

DESIGN LOADS

ROOF SNOW LOAD
 GROUND SNOW LOAD, Pg. (Elevation < 1,000 FT)
 (ADD 2 PSF FOR EVERY ADDITIONAL 100 FT)
 SNOW EXPOSURE FACTOR, Ce
 SNOW LOAD IMPORTANCE FACTOR
 THERMAL FACTOR, Ct

40 PSF
 1.0
 1.0
 1.0

DEAD LOAD 10 PSF

WIND LOAD

BASIC WIND SPEED 115 MPH
 WIND IMPORTANCE FACTOR 1
 BUILDING CATEGORY B
 WIND EXPOSURE 1
 APPLICABLE INTERNAL PRESSURE COEFFICIENT = .18

SEISMIC LOAD

SEISMIC USE GROUP I
 SEISMIC DESIGN CATEGORY C
 SPECTRAL RESPONSE COEFFICIENTS Sc = .297, S01 = .161
 SITE CLASS E

Notes:
 It is in violation of the New York State Education Law for any person, unless acting under the direction of a licensed professional engineer, to alter any item on this drawing in any way. If an item is altered, the altering engineer shall add to the item his seal and the notation "Altered by [signature] on [date] and the date of such alteration, and a specific description of this alteration."
 To the best of my knowledge, information, and belief, the plans and specifications are in accordance with applicable requirements of the 2015 International Residential Building Code and the State Energy Conservation Code.

DATE ISSUED: 10/09/20



General Construction Guidelines (as applicable):

- 1. **Drainage:**
 - a. Roof Total Load: 55 psf
 - b. Snow Load: 45 psf & D, 10 psf
 - c. Minimum Ground Snow Load: 40 psf to elevations up to 1,000 ft; increase 2 psf for every 100 ft above 55 psf
 - d. Wind Load: 100 psf total load - 20 psf @ 90 MPH
- 2. **Seismic Design Category - C**
- 3. **Aluminum Framing:**
 - a. All concrete footings & walls to be 3000 psi @ 30 days min.
 - b. 5% silica content per or (per structural)
 - c. All exterior concrete to be 4000 psi @ 28 days min.
 - d. 5% silica content per or (per structural)
 - e. 5% silica content per or (per structural)
- 4. All footings shall bear on solid and undisturbed earth.
- 5. Fire penetrations in foundation walls must be sleeved and sealed.
- 6. Provide 6-mil vapor barrier under slabs at habitable spaces.
- 7. Anchor bolts for all slabs to be hot dipped galvanized, 1/2" dia., 6" embedment, 6" on center maximum, 12" max. from end of all plate; min. 2 anchors per wall section.
- 8. All all plates to be treated and have all seal coat.
- 9. Damp-proof all basement walls and seal all penetrations.
- 10. All basements to be constructed to 95% density (modified proctor method) and free of debris. Slope grade from foundation 6" min. in the first 10 ft. Grade is not to be closer than 6" to the floor system.
- 11. All basements to have a min. design stress $F_c = 1200$ psi $f_{cr} = 10$; 2 Select or better.
- 12. Consult with roof truss manufacturer's specifications for appropriate size and quantity of nails.
- 13. Provide two back slabs under all structural beams and headers greater than 6". Double ends under bearing walls. Provide three slabs at exterior corners.
- 14. Insulation vapor barrier to be conditioned space for all walls, ceilings, floors, and basement.
- 15. Provide house wrap at all exterior walls and flash tape at all doors, windows, and penetrations.
- 16. Seal all penetrations in exterior walls.
- 17. Basement wall insulation to be white vinyl faced (min. R-10) Rane insulation (min. R-25) or equivalent. Provide 1/2" vapor retarder (min. R-10) a used; provide 1/2" gypsum covering over and screws - maximum 12" OC.
- 18. All doors to be installed with adhesive and with a combination of nails and screws - maximum 12" OC.
- 19. Shower stalls shall be installed with a hard non-absorbent surface to a height of 72" above the drain.
- 20. Provide water resistant gypsum board in all bathrooms. Provide cement board for tile or stone.
- 21. Ceiling above bathroom fixtures to be a minimum of G-5 with a minimum of 300% ROR.
- 22. Provide attic access of minimum size of 22" x 30"
- 23. Gated openings to be a minimum of 66% of the total floor area.
- 24. Verify all sizes, style and color of windows and doors with owner prior to ordering.
- 25. Drive vent is to penetrate the exterior wall with a proper rain cap. Do not use screws for attachment of vent pipes. The use of rain caps or vents is allowed. Maximum length of the vent pipe is 45 feet. Maximum diameter of the vent pipe is 7 1/2" per 45 degree bend and 5" per 90 degree bend.
- 26. Provide specifications for factory built sea fasteners to be specifications. Provide composition as from outside with proper screening. Flash extension to be distinguishable from the surrounding floor.
- 27. Automatic garage door openers to meet UL329 Standards
- 28. All electrical work to be inspected and approved by the City Engineer or other qualified professional. Provide a copy of the City Engineer's Certificate of Completion.
- 29. Heating system to be designed to meet all requirements of ASHRAE. Provide the Local Code Official with the mechanical equipment specifications.
- 30. Provide all waste vents, water, and gas piping per Local and State Code. All vents must extend 6" above roof.
- 31. Adhere to all requirements regarding Local Codes.

Floor Framing Notes:

- 1. If a pre-engineered floor system is to be used, manufacturer must provide joint and header block with all steel noted and stamped by a NYS Professional Engineer prior to installation.
- 2. Bolter must adhere to all floor system manufacturer's recommendations for column, bearing, blocking, etc.
- 3. Provide positive anchorage of deprobed column to footing/slab and beam.
- 4. If joists are used for first floor framing provide drywall protection to underside of joists or the resultant ceiling.
- 5. **Stairs, Handrails, Guards, & Landing Notes:**
 - a. Minimum Head Room: 8'0"
 - b. Minimum Tread Width: 36" (11" preferred)
 - c. Minimum Rise: 6"0"
 - d. Minimum Width: 36"
 - e. All stair cases must meet all NYS Version 2010 International Residential Building Code (IRC) requirements.
 - f. Minimum rise or tread differential: 1/4"
 - g. Minimum vertical rise of 12" R between floor ends or landings.
 - h. Handrails to be 34" min. to 38" max. above hand nose and be continuous for full length of stairs with 4 or more nosing. End returned 90° and newel post to be no less than 1 1/4" or more than 2 1/4" in diameter.
 - i. Handrails to be 34" min. to 38" max. above hand nose and be continuous for full length of stairs with 4 or more nosing. End returned 90° and newel post to be no less than 1 1/4" or more than 2 1/4" in diameter.
 - j. Handrails to be 34" min. to 38" max. above hand nose and be continuous for full length of stairs with 4 or more nosing. End returned 90° and newel post to be no less than 1 1/4" or more than 2 1/4" in diameter.
 - k. Handrails to be 34" min. to 38" max. above hand nose and be continuous for full length of stairs with 4 or more nosing. End returned 90° and newel post to be no less than 1 1/4" or more than 2 1/4" in diameter.
 - l. Handrails to be 34" min. to 38" max. above hand nose and be continuous for full length of stairs with 4 or more nosing. End returned 90° and newel post to be no less than 1 1/4" or more than 2 1/4" in diameter.
- 6. Guards are required for any walk-off area that is 30" above the finished grade or an open edge of a floor system with a projection into a room or area.
- 7. Guards and decks which are enclosed with metal screenings shall be provided with guards where walking surface is located more than 30" above floor or grade.

Window Glazing Notes:

- 1. In general, safety glass is required in all the following locations:
 - A. Windows less than 60" above a tub or shower pan.
 - B. An individual fixed or operable window panel within 24" of a door swing with the bottom edge less than 60" above the floor.
 - C. Glass doors or window panels where walk-through hazards could occur.
 - D. Safety glass is required for fixed or operable window areas that meet ALL the following requirements:
 - i. The area of the individual window pane is greater than 9 sq ft.
 - ii. The top edge of the pane is less than 60" above the floor.
 - iii. The top edge of the pane is greater than 36" above the floor.
 - iv. One or more walking surfaces is within 36" horizontally of the window.
 - v. Shower stalls are required in all walk-in and sloped showers.
 - vi. All shower and tub doors must be safety glass.
- 2. All egress windows are to have a minimum clear opening of 5.7 sq ft, a minimum open height of 24", a minimum open width of 20", and a sill height of no more than 44".
- 3. Grade floor bedrooms shall have a minimum of 1 window with a minimum net clear opening of 5.0 sq ft.
- 4. Window wells are to be a minimum of 9" in diameter and have a 36" minimum dimension. Any window well 44" below grade must have a permanent ladder.
- 5. All basements to have second means of egress.

Egress Window Notes:

- 1. All bedrooms and any basement containing habitable space must have a min. of 1 egress window.
- 2. All egress windows are to have a minimum clear opening of 5.7 sq ft, a minimum open height of 24", a minimum open width of 20", and a sill height of no more than 44".
- 3. Grade floor bedrooms shall have a minimum of 1 window with a minimum net clear opening of 5.0 sq ft.
- 4. Window wells are to be a minimum of 9" in diameter and have a 36" minimum dimension. Any window well 44" below grade must have a permanent ladder.
- 5. All basements to have second means of egress.

Elevator Deck Notes:

- 1. All decks must be designed for 55 psf total load.
- 2. All deck framing must be pressure treated to minimum 40% rot.
- 3. All fasteners used in pressure treated lumber structures must be hot-dipped galvanized or stainless steel.
- 4. If pre-engineered roof trusses are used, provide design drawings and calculations stamped by a NYS Professional Engineer to the Engineer of Record and the Code Enforcement Official prior to installation. Trusses are to be manufactured by a firm regularly engaged in roof construction. Trusses are to be installed in accordance with manufacturer's instructions. If trusses are used for storage, bottom chord to show minimum 1/2" over.
- 5. Provide adequate attic ventilation with use of soffit and ridge vents. Provide a minimum of 1" clearance required from insulation to any sheathing near the vents.
- 6. Provide hurricane clips at all roof trusses and rafters.

Wall Draping Notes:

- 1. Wall bracing must be at each end and a minimum of 25' OC. Provide structural sheathing consisting of 1/2" OSB board or 1/2" CDX plywood sheathing per applicable code.
- 2. For seismic design Category C:
 - a. 1st story of 2 or the 2nd story of 3 must be 30% sheathed
 - b. The 1st story of 3 stories must be 45% sheathed
- 3. Provide a 36" wide hinged door with direct access to the exterior (out through the garage).
- 4. All doors are required to have keyless operation from the interior.
- 5. The floor of the exterior landing can be a maximum of 1 1/2" below the door threshold.
- 6. The floor of the exterior landing can be a maximum of 6" below the door threshold.
- 7. Provide 1/2" gypsum board for under stair protection.

Egress Door Notes:

- 1. Provide a 36" wide hinged door with direct access to the exterior (out through the garage).
- 2. All doors are required to have keyless operation from the interior.
- 3. The floor of the exterior landing can be a maximum of 1 1/2" below the door threshold.
- 4. The floor of the exterior landing can be a maximum of 6" below the door threshold.
- 5. All basements to have second means of egress.

Fire Protection Notes:

- 1. Provide fire stopping at horizontal/vertical intersections in soffits, floor ceilings, concealed spaces under stairs, and at the top and bottom of stair stringers. Fire stop material may consist of 2x lumber, 1/2" gypsum board, or compressed fiberglass.
- 2. Seal around ducts and pipes with approved material at floor and ceiling levels.
- 3. Garage walls adjacent to living spaces to have one layer of 1/2" Type-X gypsum board on each side of the stud wall (One hour rated with minimum UL Design U30S). Garage ceiling and other garage walls to have one layer of 1/2" Type-X gypsum board.
- 4. Door from garage to house to be a 45 minute rated fire door with a self-closing device.
- 5. Garage floor to be non-combustible and sloped to the garage doors or to a floor drain.
- 6. Provide 1/2" gypsum board for under stair protection.
- 7. Provide 1/2" gypsum board for under stair protection.

Smoke Detector Notes:

- 1. One smoke detector is required in each bedroom and adjoining hallway, and at least one smoke detector is required on each floor and in the basement.
- 2. Provide smoke detector & carbon monoxide detector within 15' of bedrooms.
- 3. All smoke detectors are to be hard wired with battery backup.
- 4. Provide a hard wired carbon monoxide detector at standard height at the lowest level sleeping area.

Ventilation Notes:

- 1. Provide natural ventilation (windows and doors) for at least 4% of the total floor area or occupant.
- 2. Provide one exhaust fan (50 cfm minimum) in each bathroom located to the outside, or provide a minimum of 1/4" of operable window per bathroom.

Energy Code Requirements:

- 1. See attached New York State Energy code compliance certificate for applicable jobs.
- 2. Refer to climate zones for specific areas and R-value requirements.
- 3. Checklist comply with minimum area of 300 sq ft can be R-30.
- 4. Combine construction meets air leakage requirement as per section 402.4.

Truss Identification Sign:

- 1. A truss identification sign is required to be installed on the exterior electric meter box, if meter is not located on house. The sign needs to be visible to emergency personnel at a location determined by a local code official. The sign will designate construction type I, II, III, IV or V and if trusses are in floor (F) or roof (R).



4 SEASON STORAGE, TOMPKINS, LLC

1400 DRYDEN RD
ITHACA, NY 14850

PROJECT NO.	10337
DATE OF K&V	K&V
DATE OF K&V	K&V
DATE OF K&V	10/09/20
DATE OF K&V	AS NOTED

GENERAL NOTES

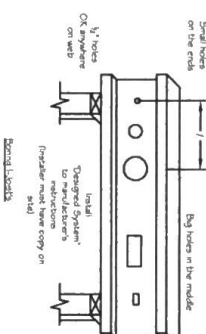
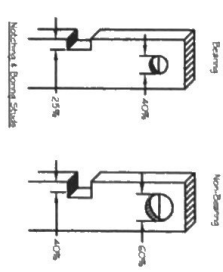
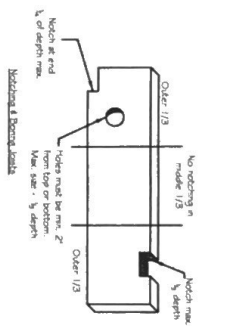
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Material Schedule

Quantity	Description	Notes
1	1" x 6" Joist, 12' long	2-6d
2	1" x 6" Joist, 12' long	2-6d
3	1" x 6" Joist, 12' long	2-6d
4	1" x 6" Joist, 12' long	2-6d
5	1" x 6" Joist, 12' long	2-6d
6	1" x 6" Joist, 12' long	2-6d
7	1" x 6" Joist, 12' long	2-6d
8	1" x 6" Joist, 12' long	2-6d
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17	1" x 6" Joist, 12' long	2-6d
18	1" x 6" Joist, 12' long	2-6d
19	1" x 6" Joist, 12' long	2-6d
20	1" x 6" Joist, 12' long	2-6d
21	1" x 6" Joist, 12' long	2-6d
22	1" x 6" Joist, 12' long	2-6d
23	1" x 6" Joist, 12' long	2-6d
24	1" x 6" Joist, 12' long	2-6d
25	1" x 6" Joist, 12' long	2-6d
26	1" x 6" Joist, 12' long	2-6d
27	1" x 6" Joist, 12' long	2-6d
28	1" x 6" Joist, 12' long	2-6d
29	1" x 6" Joist, 12' long	2-6d
30	1" x 6" Joist, 12' long	2-6d
31	1" x 6" Joist, 12' long	2-6d

Detail and Notching Details For Studs & Joists

1. Bearing and notching width maximum width is 25% and bearing is 40% Bearing cap is wider to 60% if stud is double and to 50% if stud is 2
2. Non-bearing width, notching is 40% and bearing is 60%
3. No notch allowed closer than 1/2" to face of stud
4. Provide #1 C or #2 EWP temp over notches greater than or equal to 3/8" or plate width





KW ENGINEERING

4 SEASON STORAGE, TOMPKINS, LLC

1400 DRYDEN RD
ITHACA, NY 14850

CONSULTANT

DATE: 10/09/20

BY: KAV

CHECKED BY: KAV

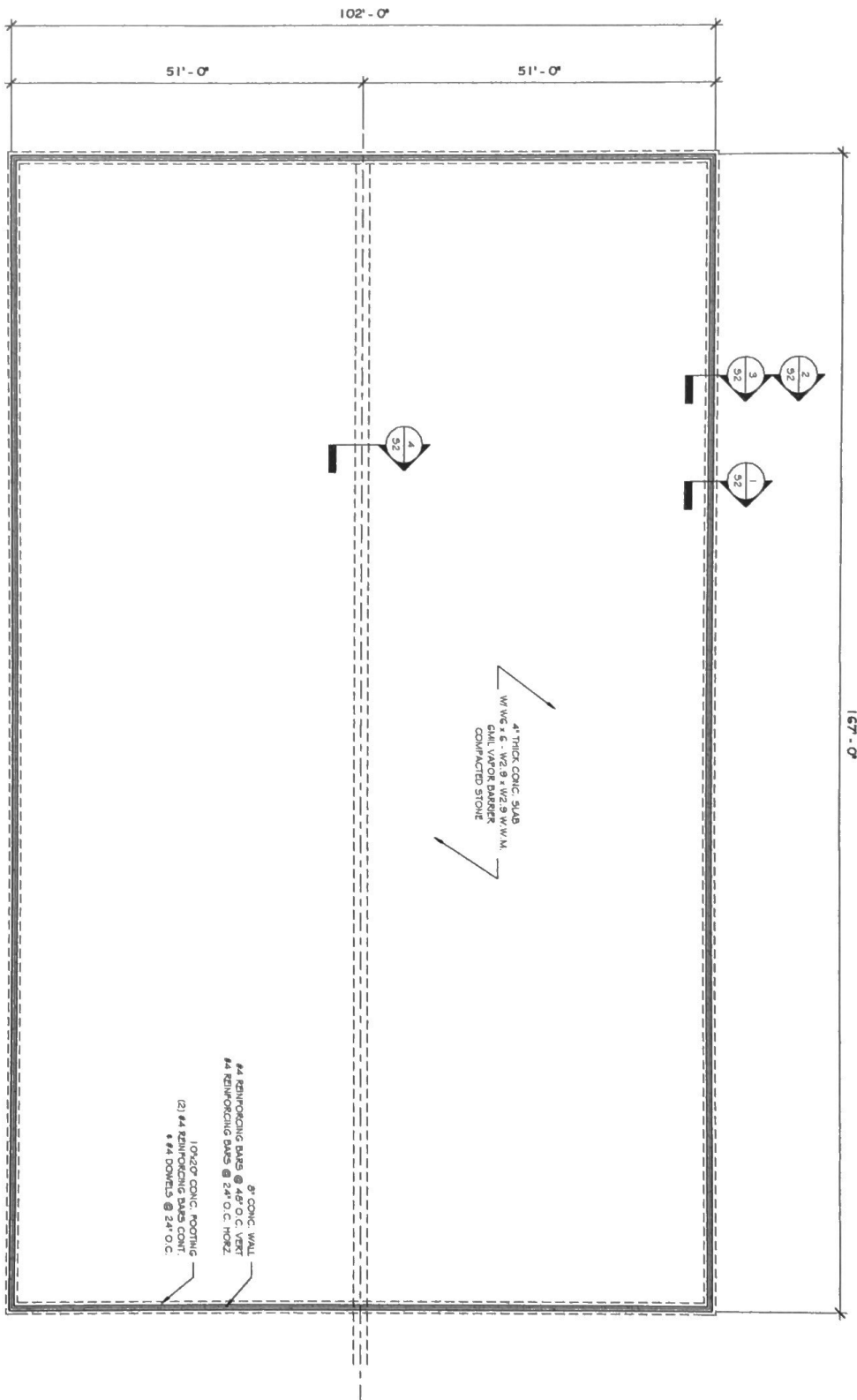
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GENERAL NOTES

G2

PROJECT NO: 01037

CLIENT: KAV



4" THICK CONC. SLAB
 6" WIDE x 9" DEEP VAPOR BARRIER
 COMPACTED STONE

9" CONC. WALL
 #4 REINFORCING BARS @ 48" O.C. VERT
 #4 REINFORCING BARS @ 24" O.C. HORIZ
 10" CONC. FOOTING
 #4 REINFORCING BARS CONT.
 #4 DOWELS @ 24" O.C.

① FOUNDATION PLAN
 3/8" = 1'-0"



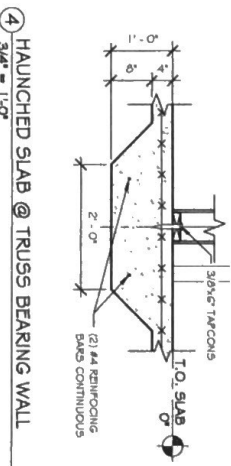
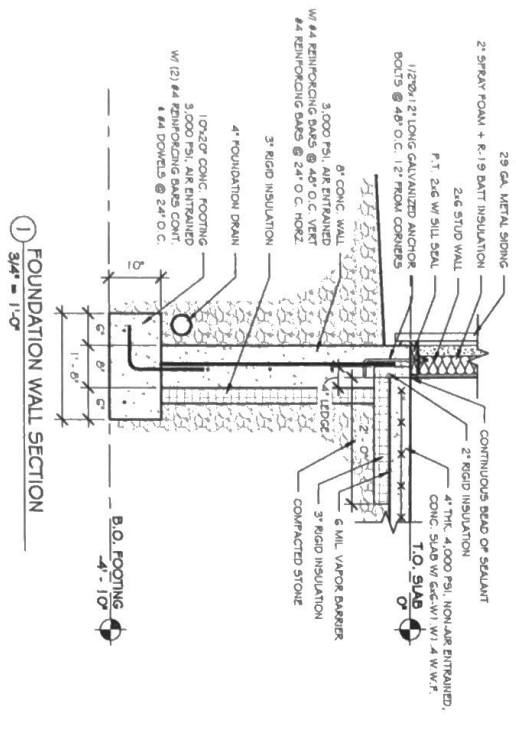
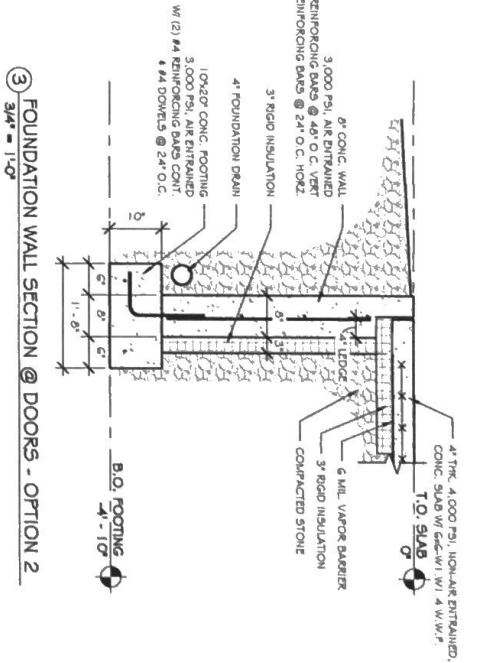
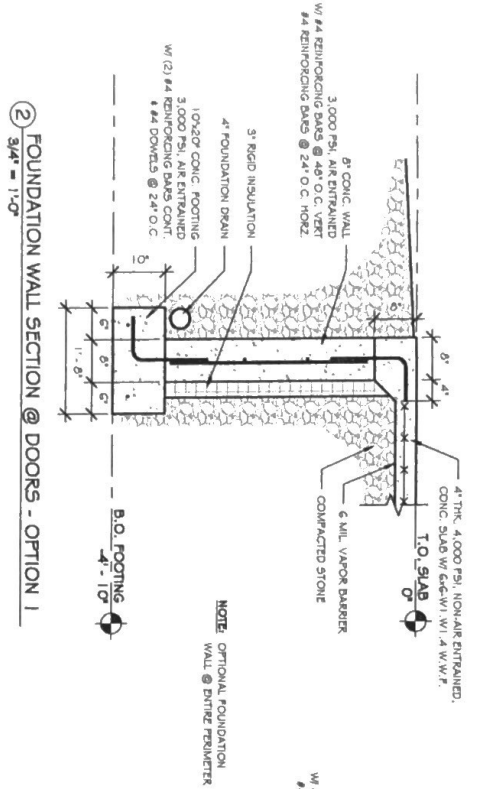
4 SEASON STORAGE, TOMPKINS, LLC

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 ITHACA, NY 14850

NO. OF FOUNDATIONS: 1	DATE: 10/09/20
PROJECT NO.: 01037	DESIGNED BY: KAV
DATE: 10/09/20	CHECKED BY: KAV
SCALE: AS NOTED	

FOUNDATION PLAN

S1



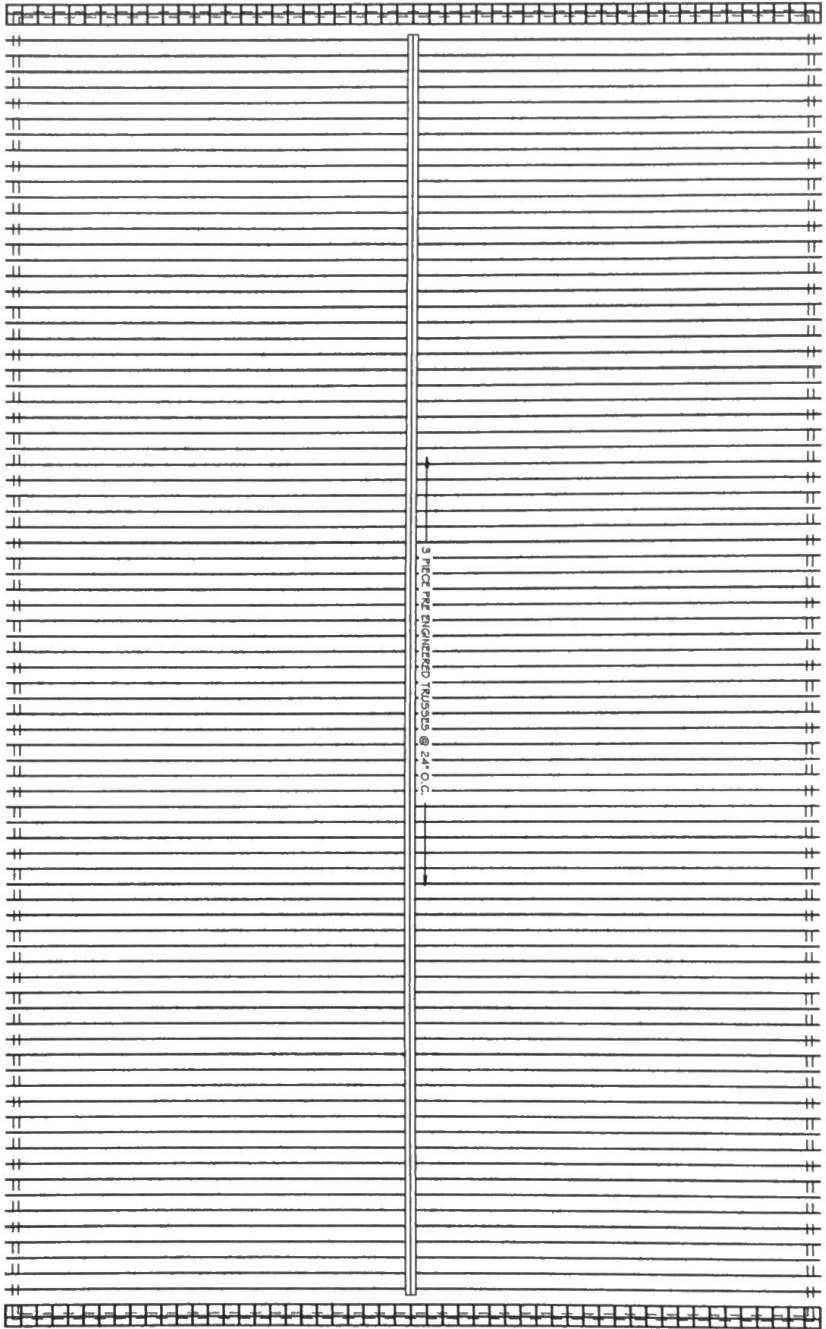
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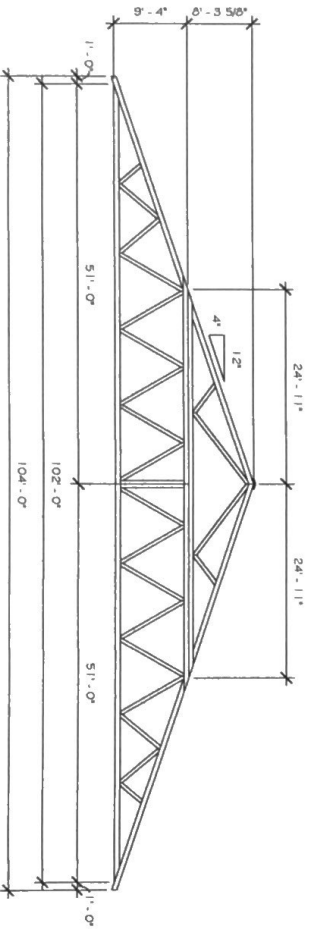
PROJECT	FOUNDATION	DATE	10/09/20
DESIGNED BY	KAV	CHECKED BY	KMV
SCALE	AS NOTED		

FOUNDATION DETAILS

SS2



① ROOF FRAMING PLAN
3/82' = 1'-0"



② 3 PIECE TRUSS DETAIL
3/82' = 1'-0"



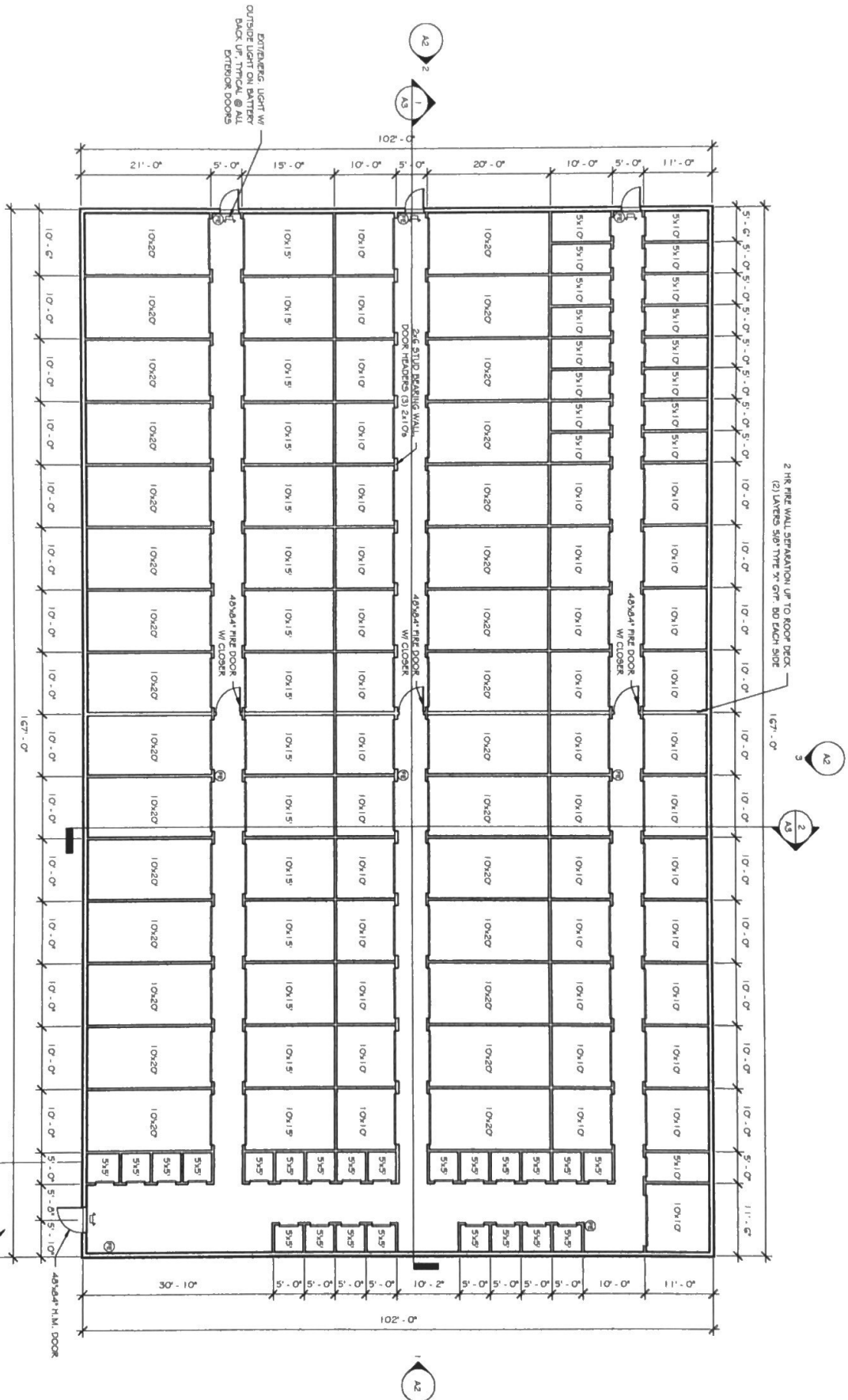
CONSULTANT

4 SEASON STORAGE, TOMPKINS, LLC
1400 DRYDEN RD
ITHACA, NY 14850

REVISION	DESCRIPTION	DATE
01037		
DESIGNED BY	KAV	
CHECKED BY	KAV	
DATE ISSUED	10/09/20	
SCALE	AS NOTED	

ROOF FRAMING PLAN

S3



1 FLOOR PLAN
3/32" = 1'-0"

NOTE: ALL OVERHEAD ROLLING STEEL DOORS 8'-0" x 7'-0" IN 10'-0" WIDE BAYS, 3'-0" x 7'-0" IN 5'-0" WIDE BAYS.

Roof Design to be added.
1.5x1.5' CONC. PAD FOR UNLOADING, VERIFY SIZE WITH OWNER.

A1

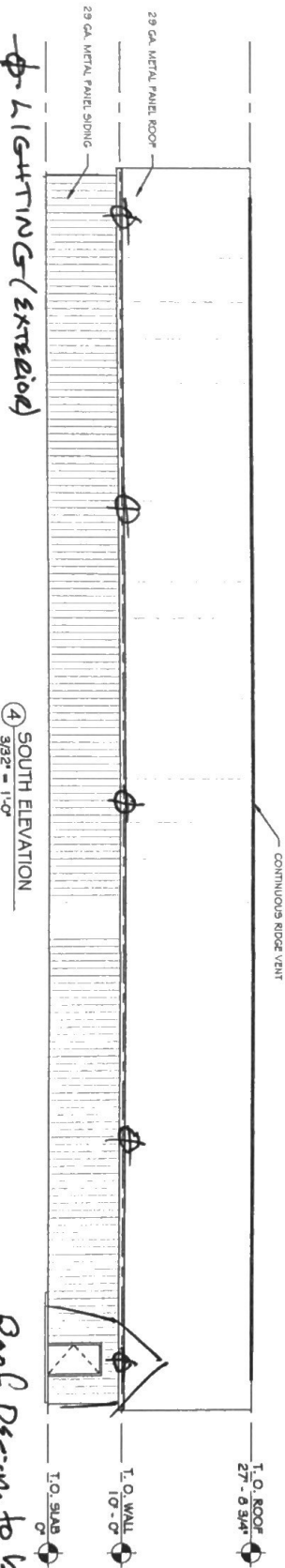
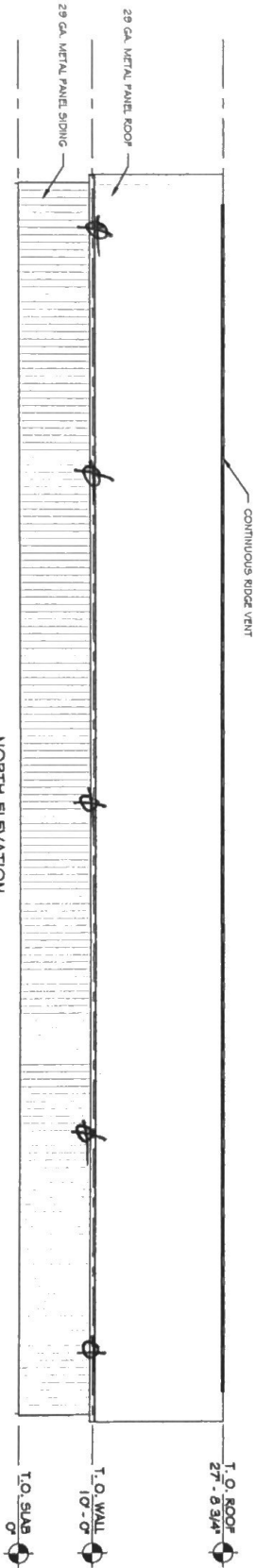
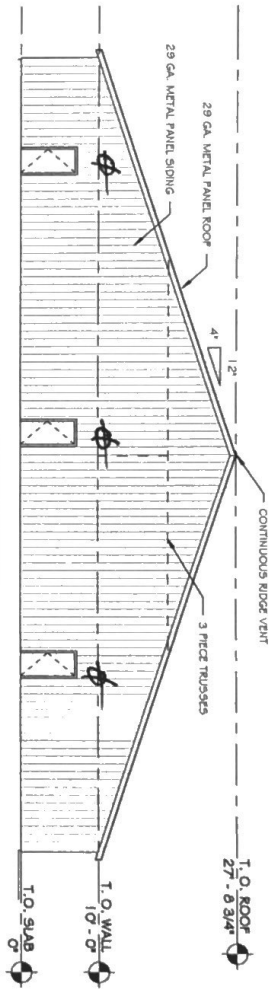
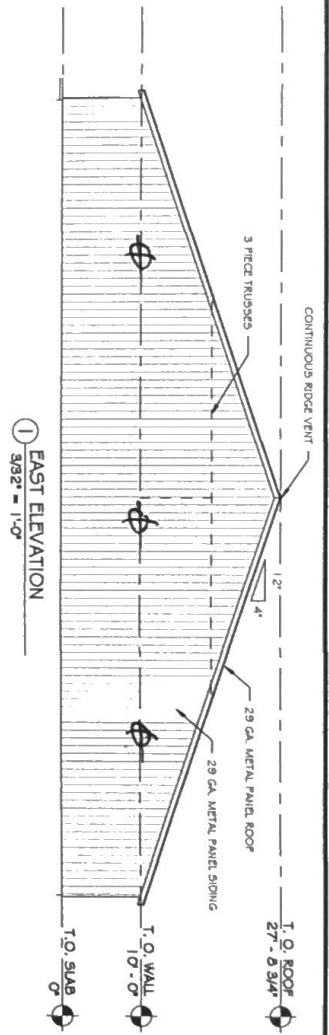
PROJECT NO.	01037
DESIGNED BY	KAV
CHECKED BY	KMW
DATE	10/09/20
SCALE	AS NOTED
FLOOR PLAN	

AS NOTED

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ITHACA, NY 14850

CONTRACT NO.





Lightnings (Exterior)

4 SOUTH ELEVATION
3/32" = 1'-0"

Roof Design to be
ADDED...



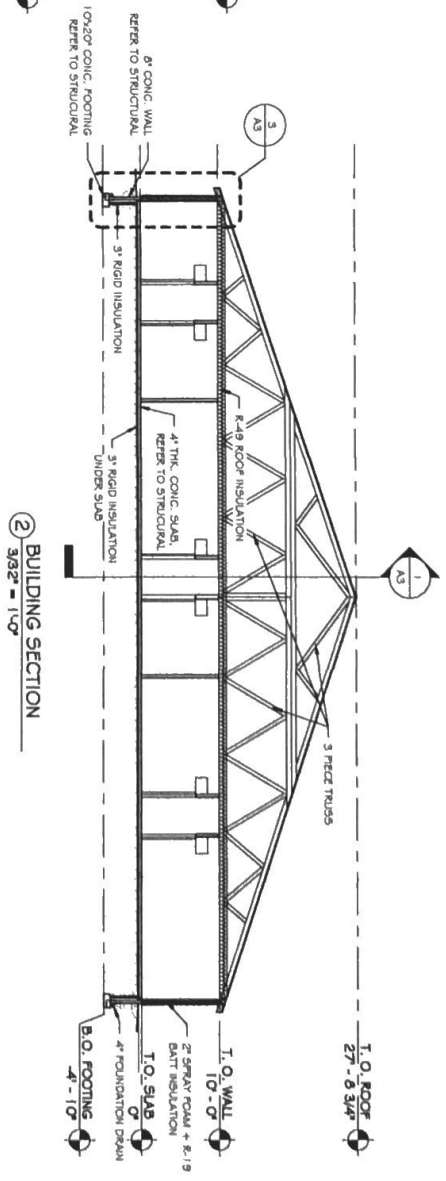
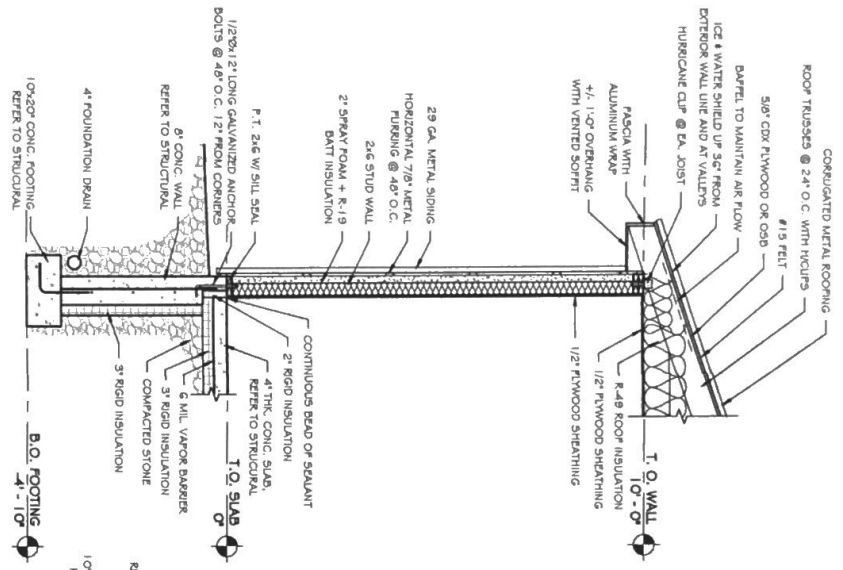
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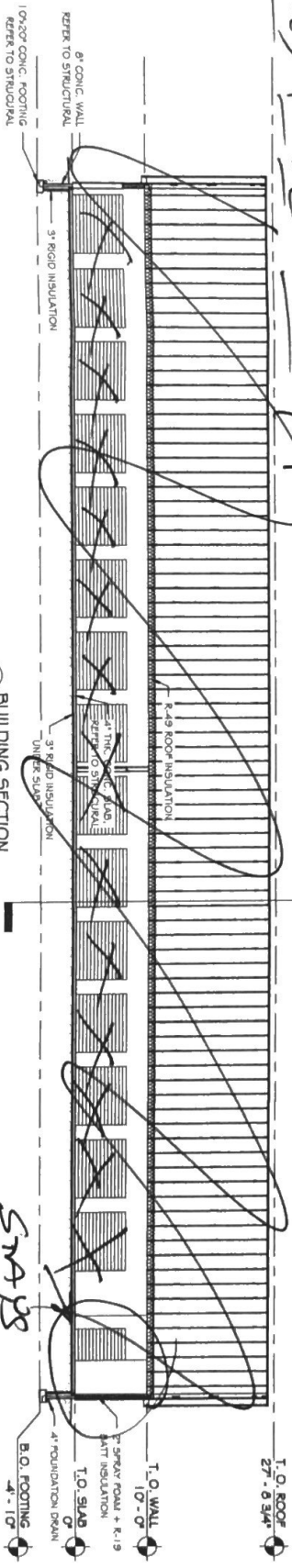
PROJECT NO.	01037
DATE	10/09/20
DESIGNED BY	KAV
CHECKED BY	KAV
SCALE	AS NOTED

ELEVATIONS

A2



Doors to be omitted & supported



Stays