

LOCATION MAP

TRUE NORTH  
at 76°-35' meridian  
of west longitude

MAP AND SURVEY PREPARED BY  
**PAUL B. KOERTS**  
PROFESSIONAL LAND SURVEYOR

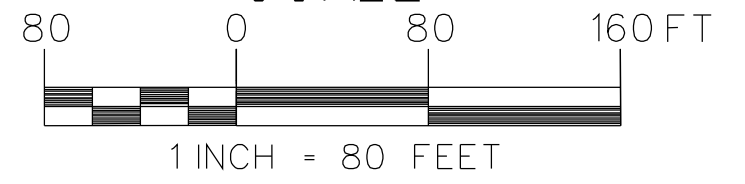
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P.O. BOX 432, HOTCHKISS ROAD  
GREENE, NEW YORK 13778-0432

N.Y.S. License No. 49580

**NOTES:**

- Denote lot number on a map entitled "Subdivision Plat Bluebird Subdivision, Lake Road, Town of Dryden, County of Tompkins and State of New York" as surveyed by Paul B. Koerts, Professional Land Surveyor dated April 18, 2017 and filed in the Tompkins County Clerk's Office as Instrument No. 2017-09726.
- House encroaches in the Conservation easement as noted in Note 11 of the Protective Covenants, Easements and Restrictions: The designated conservation easement shown on the survey maps along Lake Road is restricted against any house construction. The area allows for agricultural purposes including fencing and run-in sheds not to exceed 10' in high and 800 square feet in area.

SCALE



DEED REFERENCE  
INSTRUMENT NO. 2017-14696

MAP DATE: AUGUST 26, 2019  
MAP NO: 13197-04

**GENERAL NOTES**

- Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, sub-division 2, of the New York State Education Law.
- Only copies from the original of this survey marked with an original of the land surveyor's seal and signature shall be considered to be valid true copies.
- Certifications indicated hereon signify that this survey was prepared in accordance with the current Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors. Said certifications shall run only to the person for whom the survey was prepared, and on his behalf to the title company, governmental agency and lending institutions listed hereon, and to the assignees of the lending institution. Certifications are not transferable to additional institutions or subsequent owners.
- Subject to utility line or other easements covenants or restrictions affecting the surveyed premises, if any. All visual above ground evidence of easements are as shown.
- Subject to any facts a complete, accurate and current abstract of title may disclose.

**CERTIFICATION OF THIS SURVEY SHALL RUN TO:**

- Tompkins Trust Company, its successors and/or assigns
- Stewart Title Insurance Company
- Carolyn Anna Chow
- Lori Ann Hill
- Harris Beach PLLC

**REVISIONS**

No.	Description
1)	
2)	
3)	
4)	
5)	
6)	

**LEGEND**

- 3/4" rebar found with plastic yellow cap tagged "Paul B. Koerts, L.S.No. 49580" set
- iron pin or pipe found
- underground telephone cable box/marker
- utility pole with overhead distribution & service lines
- property line
- easement line
- water course or boundary
- fence line
- stonewall & stonewall remains
- edge of wooded area
- edge of paved drive or road
- edge of unpaved drive or road
- minor elevation contour lines
- major elevation contour lines
- deciduous tree
- coniferous tree

**BOUNDARY SURVEY**  
OF LANDS OWNED BY

**CAROLYN ANNA CHOW & LORIANN HILL**  
LAKE ROAD TAX MAP NO. -49-1-30.24  
TOWN OF DRYDEN  
COUNTY OF TOMPKINS STATE OF NEW YORK