



Planning Department

Director of Planning Ray Burger

Code Enforcement Officer Kevin Ezell

Code Enforcement Officer David Sprout

Zoning Officer David Sprout

Stormwater Manager David Sprout

Administrative Coordinator Joy Foster

93 East Main Street
Dryden, NY 13053

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General Permit Application – Sheet 1 General Information

DO NOT FILL IN SHADED SECTIONS

Date: 9-30-2020 Tax Parcel #: 68-1-34.15 Zoning District: _____

(COMPLETE) Project Address: 4 REDWOOD LANE ITHACA NY 14850

Project Description: PLACE A 12'x20' QUAKER STYLE SHED IN FRONT YARD. SHED FABRICATED OFF SITE FURNISHED BY "THEE AMISH STRUCTURES", DRYDEN NY 13053

Estimated project cost: \$5805

Principal Use: Residential Commercial: _____ Other: _____

Permit(s) Required: Building Zoning Special Use Site Plan Review Subdivision Pool
 Heating Demolition Pre-built Shed

Permit Application - Contact Information

Owner - Print name: WILLIAM F. HAMM & JANET P. HAMM

Owner Signature required & dated: William F. Hamm 9-30-2020 Janet P. Hamm 9-30-2020

COMPLETE MAILING address: 6173 WATERLOO RD. JAMESVILLE, NY 13078

E-mail: janetdhamm6173@gmail.com Telephone No: 315-469-6516

Agent / Applicant - Print: N.A.

Address: _____ City: _____ State: _____ Zip Code: _____

E-mail: _____ Telephone No: _____

General Contractor: THEE AMISH STRUCTURES

Address: 32 NORTH ST City: DRYDEN State: NY Zip Code: 13053

E-mail: amishstructures@ymail.com Telephone No: 607-257-1070

Building Permit Information

Type of Construction: Wood X Steel _____ Masonry _____ Other _____
Number of Stories 1
Type of Heat & Fuel Source NONE
Number of dwelling units: circle Single Duplex Multi Commercial N/A
Number of Baths: 0 Number of Bedrooms: 0

Site-built: _____ Modular: _____ Manufactured: X

Square Footage: First Floor: 240 Second Floor: NONE

Basement: N.A. Garage: _____

Project Cost: \$5805

Fee: _____

Basic Building Information

Is this an Existing Building? No Current Occupancy: _____ New Occupancy _____

Is this a New Building? YES Zoning Permit Needed? _____

Number of Dwelling Units: 0 Proposed Change: N.A.

Zoning Permit Information

Zoning District: _____, Subdivision Plat: _____, Lot Area: _____, Height of Building: _____

Zoning Use: _____, Site Plan Review and/or Special Use Permit on file: _____

Other Permit(s) Required: Special Use, Site Plan Review, Sign: _____

ZONING COMPLIANCE

Site Plan: Please complete the Site Plan Worksheet

Principal Use: STORAGE

New or Change of Use: Y/N Zoning Permit Required (New use and building)? VARIANCE REQUIRED

Required Setbacks: Front 40' Side 10' Rear _____ Frontage _____

Does this project comply with Zoning Regulations? Y/N VARIANCE REQUIRED Project cost: \$5805

Building Permit Approved _____ Building Permit Denied _____

Under Section _____ (of the NYS Building Code)

Signature of Code Enforcement Officer _____ Date _____

Zoning Permit Approved _____ Zoning Permit Denied _____

Building Permit # _____ Zoning Permit # _____

Pre-built Shed

Dimensions 12' x 20' Electric Yes No Plumbing Yes No Heat Yes No

Placed on LEVEL BASE OF COMPACTED "CRUSHER RUN"

Installers Insurance submitted Yes No OR Homeowners Insurance waiver signed Yes No

Does this project comply with Zoning Regulations? Yes / No VARIANCE REQ'D Project cost: \$5805

Heating Appliance N.A.

Type of Appliance: Boiler _____ Forced Air _____ Freestanding _____ Insert _____ Fireplace _____
Type of Fuel Source: Oil _____ Propane _____ Nat. Gas _____ Coal _____ Wood _____ Biomass _____ Other _____
Chimney or vent type: Masonry _____ Metal _____ Other _____

Manufacturer and number _____
Provide manufactures specifications and location of appliance in the structure including location of vent or chimney. _____

Installers Insurance submitted Yes / No _____ OR Homeowners Insurance waiver signed Yes / No _____

Does this project comply with Zoning Regulations? Yes / No _____ Project cost: _____

Demolition N.A.

Demolition of _____ Location _____

Debris buried and where _____ Debris removed and where _____

Required Disconnects Obtained - Date: Tompkins Co. Health Dept. _____ Electric Co. _____

Demolisher's Insurance submitted Yes / No _____ OR Homeowners Insurance waiver signed Yes / No _____

- Site Plan: where the demolished structure is now situated and where it is to be buried.
- Copy of the receipts or the tipping fees from the land fill if debris is removed from site.
- Asbestos survey of the structure to be demolished has to be submitted with this application. Single-family residence and farm building are exempt from this requirement if the owner is performing the work.
- Delineation of any DEC or Federal Wetlands, any streams or watercourses and any other water shall be noted on the site-plan submitted with this application

Swimming Pool N.A.

Aboveground pool Yes / No _____ In-ground pool Yes / No _____ Pool dimensions _____

Location site _____

Installers Insurance submitted Yes / No _____ OR Homeowners Insurance waiver signed Yes / No _____ Safety handout given Yes / No _____

Does this project comply with Zoning Regulations? Yes / No _____ Project cost: _____

- Renters / Tenants must provide proof of owner approval for this project
- Barriers & Alarms are required. Pools with a deck need a building permit
- Inspection sheet will be mailed with permit
- A final inspection from the Town of Dryden Code Enforcement is **Mandatory** to close out permit and allow pool use

Permit Application Worksheet – Site Plan Sketch Worksheet

In the space below, or on an attached plan, please provide a simple site plan sketch showing the proposed and existing structures (building, garage, fence etc.) as well as any wells and septic systems, or water and sewer lines. You may show the information on a copy of a survey or tax map as long as it is accurate. You are encouraged to write a description of what you want to do in a letter to accompany the drawing, or on the drawing itself.

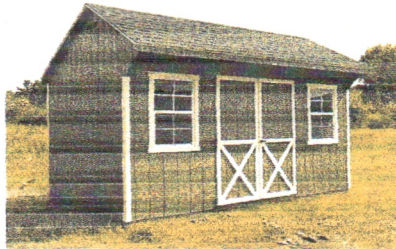
Please show the following as they apply to your project (see Zoning Section 1102):

- The lot, dimensions and features including road frontage.
- Location of proposed and existing structures, parking areas, stormwater management and other features as applicable.
- All existing and proposed driveway & road cuts.
- Topographical features (hills, ravines, etc.) and proposed changes.
- **Yard dimensions and setbacks** including nearby streets, buildings, rights of way and easements
- within 500 or so feet and names of adjoining property owners.
- Waterbodies and wetlands.
- Water and Sewer Facilities, and/or Well and Septic Facilities.
- Utilities (power lines, phone lines, gas lines etc.),
- Scale (estimate okay)
- North arrow

SEE ATTACHED "SURVEY MAP" SHOWING THE PROPOSED SHED LOCATED ±78' FROM THE REDWOOD LANE STREET LINE.

THIS PROPOSED PROJECT IS TO PLACE A 12'x20' STORAGE SHED FURNISHED BY AND INSTALLED BY "THE AMISH STRUCTURES" FROM DRYDEN, N.Y. THE DURATEMP SIDING AND TRIM WILL BE "BLUE" AND THE ROOF WILL HAVE "Pewter" ARCHITECTURAL SHINGLES.

FRONT VIEW OF PROPOSED STORAGE SHED

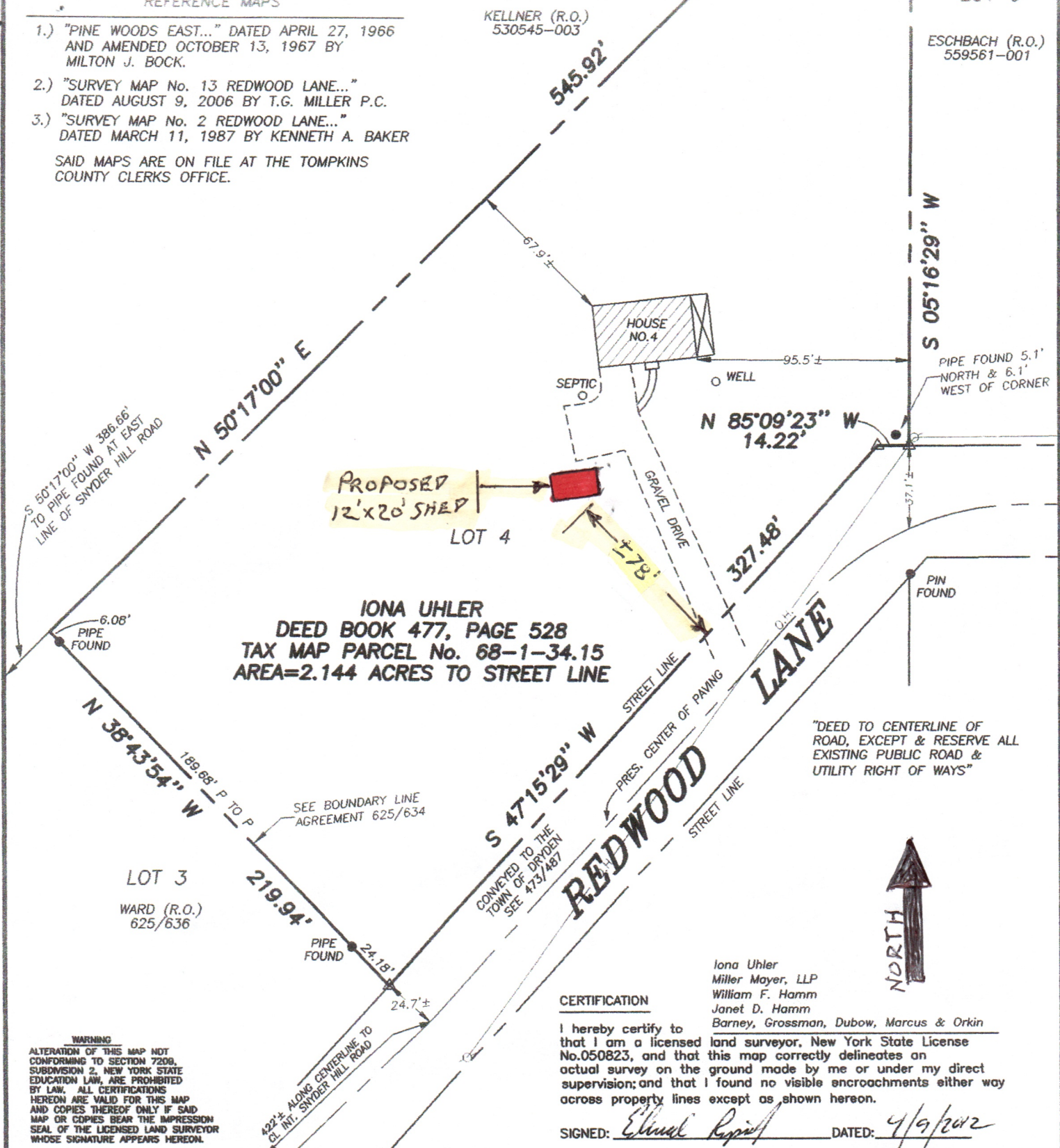


Quaker Standard

KELLNER (R.O.)
530545-003

ESCHBACH (R.O.)
559561-001

- 1.) "PINE WOODS EAST..." DATED APRIL 27, 1966 AND AMENDED OCTOBER 13, 1967 BY MILTON J. BOCK.
 - 2.) "SURVEY MAP No. 13 REDWOOD LANE..." DATED AUGUST 9, 2006 BY T.G. MILLER P.C.
 - 3.) "SURVEY MAP No. 2 REDWOOD LANE..." DATED MARCH 11, 1987 BY KENNETH A. BAKER
- SAID MAPS ARE ON FILE AT THE TOMPKINS COUNTY CLERKS OFFICE.



IONA UHLER
DEED BOOK 477, PAGE 528
TAX MAP PARCEL No. 68-1-34.15
AREA=2.144 ACRES TO STREET LINE

"DEED TO CENTERLINE OF ROAD, EXCEPT & RESERVE ALL EXISTING PUBLIC ROAD & UTILITY RIGHT OF WAYS"

CERTIFICATION

I hereby certify to that I am a licensed land surveyor, New York State License No.050823, and that this map correctly delineates an actual survey on the ground made by me or under my direct supervision; and that I found no visible encroachments either way across property lines except as shown hereon.

SIGNED: *Edward Ripic* DATED: *4/9/2012*

Iona Uhler
 Miller Mayer, LLP
 William F. Hamm
 Janet D. Hamm
 Barney, Grossman, Dubow, Marcus & Orkin

WARNING
 ALTERATION OF THIS MAP NOT CONFORMING TO SECTION 7209, SUBDIVISION 2, NEW YORK STATE EDUCATION LAW, ARE PROHIBITED BY LAW. ALL CERTIFICATIONS HEREON ARE VALID FOR THIS MAP AND COPIES THEREOF ONLY IF SAID MAP OR COPIES BEAR THE IMPRESSION SEAL OF THE LICENSED LAND SURVEYOR WHOSE SIGNATURE APPEARS HEREON.

T. G. MILLER P.C.
 ENGINEERS AND SURVEYORS
 203 NORTH AURORA STREET
 ITHACA, NEW YORK 14851
 PHONE (607) 272-6477

TITLE:
SURVEY MAP
No. 4 REDWOOD LANE
 TOWN OF DRYDEN, TOMPKINS COUNTY, NEW YORK

DATE: 4/9/2012

SCALE: 1"=60'

S12196



Escrow

Reimbursable Costs, fees and disbursements. The reasonable and necessary costs, fees or disbursements incurred by the Town or its officials for consultation or review by professionals including architects, landscape architect, engineers, surveyors, attorneys or others, on any Application for a Zoning Permit, Certificate of Occupancy, Appeal to the Zoning Board of Appeals, Application for Subdivision Approval, Application for a Planned Unit Development or application for a Special Permit or a Special Permit for a mobile home park shall be paid by the applicant.

Signature required

By signing you agree that you have read and understand and will be responsible for issued permits.

Owner or responsible party signature: Janet D. Hamm Date: 9-30-2020
Print name: WILLIAM F. HAMM
JANET D. HAMM

Permit Application Worksheet - Road Cuts

- For all New York State Routes call NYS DOT in Cortland at 756-7072, 8:00 am -4:00 pm daily.
- For Tompkins County Routes, call Tompkins County Highway Dept. in Ithaca, NY at 274-0300 8:00 am – 4:00 pm daily.
- For Dryden Town Routes call Dryden Town Highway at 844-8888 ext.402, 7:00 am – 4:00 pm Monday – Thursday.