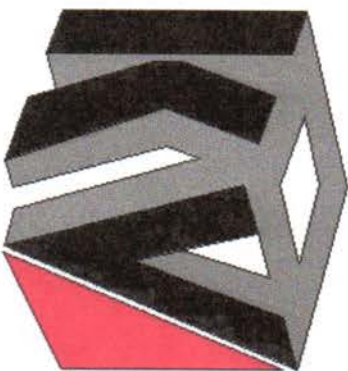


4 SEASON STORAGE, TOMPKINS, LLC

1400 DRYDEN RD
ITHACA, NY 14850

KVENG PROJECT 01037



KV ENGINEERING
P.L.L.C.

66 PHILD ROAD WEST
ELMIRA, NY 14903

PH: 607.739.8800 FX: 607.796.0374

DRAWING LIST	
C5	COVER SHEET
G1	GENERAL NOTES
G2	GENERAL NOTES
S1	FOUNDATION PLAN
S2	FOUNDATION DETAILS
S3	ROOF FRAMING PLAN
A1	FLOOR PLAN
A2	ELEVATIONS
A3	SECTIONS

DESIGN LOADS

ROOF SNOW LOAD
GROUND SNOW LOAD, Pg (Elevation < 1,000 FT)
(ADD 2 PSF FOR EVERY ADDITIONAL 100 FT)
SNOW EXPOSURE FACTOR, Ce
SNOW LOAD IMPORTANCE FACTOR
THERMAL FACTOR, Ct

DEAD LOAD

WIND LOAD
BASIC WIND SPEED
WIND IMPORTANCE FACTOR
BUILDING CATEGORY
WIND EXPOSURE
APPLICABLE INTERNAL PRESSURE COEFFICIENT = .18

SEISMIC LOAD
SEISMIC USE GROUP
SEISMIC DESIGN CATEGORY
SPECTRAL RESPONSE COEFFICIENTS
SITE CLASS

40 PSF
1.0
1.0
1.0
1.0
10 PSF
115 MPH
1.0
1
B
1
C
E

Notes:
It is in violation of the New York State Education Law for any person, unless acting under the direction of a licensed professional engineer, to alter any item on this drawing, or to make any other change, without the written consent of the engineer who prepared the drawing. The consent of the engineer shall be in writing and shall be in the form of a separate document, which shall be filed with the drawing. The signature and the date of such alteration, and a specific description of this alteration, shall be in writing and shall be in the form of a separate document, which shall be filed with the drawing.
To the best of my knowledge, information, and belief, the plan and specifications are in accordance with applicable requirements of the 2015 International Residential Building Code and the State Energy Conservation Construction Code.

DATE ISSUED: 10/09/20

General Construction Guideline Notes (as applicable)

- 1. All concrete footings shall be to 3000 psi @ 28 days min.
- 2. Reinforcing steel to be grade CO. Top of reinforcing steel min. 30 bar diameter.
- 3. Soil bearing capacity assumed to be 2000 psf.
- 4. All footings shall bear on solid and undisturbed earth.
- 5. Pipe penetrations in foundation walls must be sleeved and sealed.
- 6. Provide 6 mil vapor barrier under slabs at habitable spaces.
- 7. Anchor bolts for all jacks to be hot dipped galvanized.
- 8. All steel connections shall be made in accordance with AISC 127 min. from end of all plates. min. 2 inches per wall section.
- 9. All all plates to be treated and have all seal mat.
- 10. All brick to be constructed to 95% density (modified proctor method) and free of air voids. Store grade from closer than 6" to the floor system.
- 11. All frames to have a min. design stress F_y 1200 psi per IBC. 2 Select or better.
- 12. Connect with joint hanger manufacturer's specifications for appropriate size and quality of steel.
- 13. Provide two jack studs under all structural beams and headers greater than 6". Double joists under bearing walls. Provide three studs min. at exterior corners.
- 14. Insulation vapor barrier to have conditioned space for all walls, ceilings, floors, and basement.
- 15. Provide brace size at all built exterior walls and flash tape at all doors, windows, and penetrations.
- 16. Seal all penetrations in exterior walls.
- 17. Basement wall insulation to be alkali wool facing (min. R-10) facing outward - 25 or less, and smoke developed - 50 or less. If rigid insulation (min. R-10) is used, provide $\frac{1}{2}$ " gypsum covering.
- 18. All detail to be included with adhesive and with a combination of nails and screws - minimum 12" OC.
- 19. Shower stalls shall be installed with a hard non-absorbent surface to a height of 72" above the finish.
- 20. Provide water resistant gypsum board in all bathrooms. Provide cement board for glass-on-tile.
- 21. Ceiling above bathroom to have a minimum of 6'-0" with a minimum area of 30'x30'.
- 22. Provide attic access of minimum size of 22" x 30".
- 23. Gabled openings to be a minimum of 80% of the total floor area.
- 24. Verify all sizes, style and color of windows and doors with owner prior to ordering.
- 25. Over vent is to penetrate the exterior wall with a proper rain cap. Do not use screws for attachment of vent pipes. The use of foil tape or mastic is allowed. Maximum length of the vent pipe is 25' for a straight run. Reduce minimum length of the vent pipe to 45' if gabled roof and 5' per 30 degree slope.
- 26. Provide specifications for factory built gas fireplace to be installed. Install in strict accordance with manufacturer's instructions. Hearth extension to be detachable from the surrounding floor.
- 27. Automatic garage door operators to meet UL225 Standards.
- 28. All electrical work to be inspected and approved by the NYSD Board of Fire Underwriters or equal and meet all applicable Codes. Provide an Electrical Certificate at completion.
- 29. Heating system to be designed to meet all requirements of ASHRAE. Provide the Local Code Official with the mechanical equipment specifications.
- 30. Provide all waste vents, water, and gas piping per Local and State Code. All vents must extend 10' above roof.
- 31. Adhere to all requirements regarding Local Codes.

Floor Framing Notes:

- 1. A pre-engineered floor system is to be used, manufacturer must provide post and header layout with all sizes noted and stamped by a NYSD Professional Engineer prior to installation.
- 2. Gutter must adhere to all floor system manufacturer's recommendations for ceiling, bonding, bracing, blocking, etc.
- 3. Provide positive anchorage of telescopic column to joist/rafters and beam.
- 4. If joists are used for first floor framing provide drywall protection to underside of joists or fire resistant coating.
- 5. Minimum clear floor depth: Minimum Total Width - 9' (11' unfinished) Minimum Headroom - 6'-0" Minimum Width - 3'-0" All stair cases must meet all NYSD Version 2010 International Residential Building Code (IRC) requirements. Maximum rise or tread differential - $\frac{1}{4}$ " Maximum vertical rise of 12" between floor levels or landings.
- 6. Handrails to be 34" min. to 38" max. above tread nose and be continuous for full length of stairs with 4 or more treads. End returned to wall or new post and step post to be no less than 1 1/2" or more than projection into opening is 1/2".
- 7. Posts and decks which are enclosed with metal screening shall be provided with guards where walking surface is located more than 30" above floor or grade.
- 8. Make be positively anchored to the primary structure. Nailing is not allowed.
- 9. Illumination is required for stairs and landings.
- 10. Provide handrails on both sides of stairs.
- 11. In general, safety glass is required in all the following locations:
 - A. Windows less than 36" above a sill or shower area.
 - B. Windows less than 36" above a door sill.
 - C. All doors or window panels where walk-through hazards could exist.
 - D. Stair treads as required for fixed or operable window panels.
 - E. The area of the individual window pane is greater than 9 sq. ft.
 - F. The bottom edge of the pane is less than 18" above the floor.
 - G. The top edge of the pane is greater than 36" above the floor.
 - H. One or more walking surfaces is within 36" horizontally of the E. Safety glass is required in all skylights and sloped glazing.
 - I. All shower and tub doors must be safety glass.

Wall Framing Notes:

- 1. Wall bracing must be at each end and a minimum of 25' OC. Provide structural sheathing consisting of $\frac{1}{2}$ " OSB board or $\frac{1}{2}$ " CDX plywood (based on walling schedule).
- 2. For seismic design Category C, -) the 1st story of 2 or the 2nd story of 3 must be 30% sheathed -) the 1st story of 3 stories must be 45% sheathed.

Egress Door Notes:

- 1. Provide a 36" wide hinged door with direct access to the exterior foot through the garage).
- 2. All doors are required to have keyless operation from the interior.
- 3. The floor of the interior landing can be a maximum of 1/2" below the door threshold.
- 4. The floor of the exterior landing can be a maximum of 0" below the door threshold.
- 5. All basements to have second means of egress.

Smoke Detector Notes:

- 1. One smoke detector is required in each bedroom and adjoining hallway and at least one smoke detector is required on each floor and in the basement.
- 2. Provide smoke detector - carbon monoxide detector within 15'-0" of bedrooms.
- 3. All smoke detectors are to be hard wired with battery backup.
- 4. Provide a hard wired carbon monoxide detector at standard height at the lowest level sleeping area.
- 5. Provide natural ventilation (windows and doors) for at least 4% of the total floor area or occupant.
- 6. Provide one exhaust fan (50 cfm minimum) in each bathroom located to the outside or provide a minimum of $\frac{1}{6}$ sq ft operable window per bathroom.

Energy Code Requirements:

- 1. See attached New York State Energy code compliance certificate for applicable jobs.
- 2. Refer to climate zones for specific areas and R-value requirements.
- 3. Cathedral ceilings with maximum area of 500 sq ft can be R-30.
- 4. Confirm construction meets air leakage requirement as per section 402.4.

Trash Identification Sign:

- 1. A trash identification sign is required to be installed on the exterior exterior under box, if meter is not located on house, the sign needs to be visible to emergency personnel at a location determined by a local code official. The sign will designate construction type II, III, IV or V and if trusses are in floor (F) or roof (R).

Roof Notes:

- 1. The minimum acceptable slope for use of asphalt shingles is 2:12. Provide double underlayment if roof slope is less than 4:12.
- 2. Ice and water shield membrane to be provided at all eaves up 36" (24" minimum per code) from the inside of the exterior wall and at all valleys.
- 3. Provide a chimney cricket if the chimney is greater than 30" wide.
- 4. If pre-engineered roof trusses are used, provide design drawings and calculations submitted by a NYSD Professional Engineer to the Designer of Record and the Code Enforcement Official prior to installation. Provide the following information:
 - Provide letter and X' trusses per approved shop drawings. If trusses are used for storage, bottom chord to show minimum live load.
 - Provide adequate attic ventilation with use of gable and ridge vents with eave vents. Assume that ceiling insulation does not block eave vents. A minimum of 1" clearance is required from insulation to any sheathing near the vents.
 - Provide hurricane clips at all roof trusses and rafters.

Exterior Deck Notes:

- 1. All decks must be designed for 55 psf total load.
- 2. All deck framing must be pressure treated to minimum - CO pd.
- 3. All fasteners used in exterior truss/ joist structures must be hot-dipped galvanized, or stainless steel.

Window Glazing Notes:

- 1. In general, safety glass is required in all the following locations:
 - A. Windows less than 36" above a sill or shower area.
 - B. Windows less than 36" above a door sill.
 - C. All doors or window panels where walk-through hazards could exist.
 - D. Stair treads as required for fixed or operable window panels.
 - E. The area of the individual window pane is greater than 9 sq. ft.
 - F. The bottom edge of the pane is less than 18" above the floor.
 - G. The top edge of the pane is greater than 36" above the floor.
 - H. One or more walking surfaces is within 36" horizontally of the E. Safety glass is required in all skylights and sloped glazing.
 - I. All shower and tub doors must be safety glass.

Egress Window Notes:

- 1. All bedrooms and non-basement containing habitable space must have a min. of 1 square window.
- 2. All egress windows are to have a minimum clear opening of 5.7 sq ft, a minimum open height of 24", a minimum open width of 20", and a sill height of no more than 44".
- 3. Grade floor bedrooms shall have a minimum of 1 window with a minimum net clear opening of 5.0 sq ft.
- 4. Window with net to be a minimum of 9 ft and have a 36" minimum dimension. Any window with 44" below grade must have a permanent ladder.
- 5. All basements to have second means of egress.



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ITHACA, NY 14850

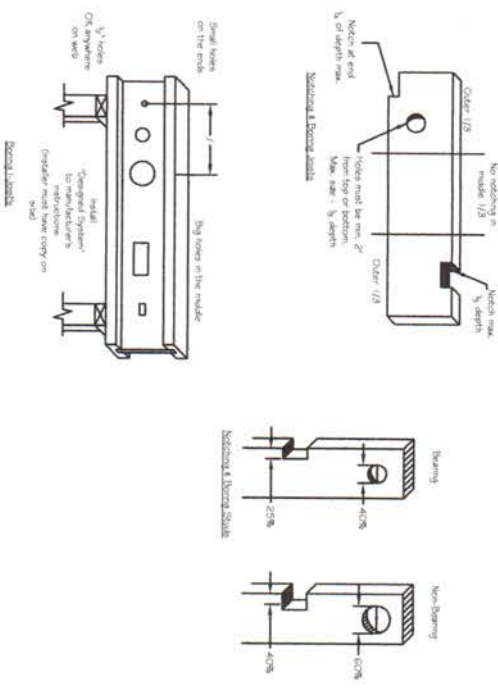
PERMIT	CONSTRUCTION	DATE
PROJECT NUMBER	01037	
DATE AT CHECK BY	KAV	
DATE REVISION	10/09/20	
AS NOTED		
GENERAL NOTES		
G1		

Nailing Schedule

Connection	Nailing
1. 1" x 4" nailer to stud, face nail	3-4d
2. 1" x 4" nailer to stud, end nail	2-4d
3. 1" x 4" nailer to stud, face nail	2-4d
4. 1" x 4" nailer to stud, end nail	2-4d
5. 1" x 4" nailer to stud, face nail	2-4d
6. 1" x 4" nailer to stud, end nail	2-4d
7. 1" x 4" nailer to stud, face nail	2-4d
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24. 1" x 4" nailer to stud, end nail	2-4d
25. 1" x 4" nailer to stud, face nail	2-4d
26. 1" x 4" nailer to stud, end nail	2-4d
27. 2" Thick	Ed common
28. 2" Thick	Ed common
29. 2" Thick	Ed common
30. 2" Thick	Ed common
31. 1" Plywood structural sheathing & particle board exterior	Ed common
32. 1" Plywood structural sheathing & particle board exterior	Ed common
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99. 1" Plywood structural sheathing & particle board exterior	Ed common
100. 1" Plywood structural sheathing & particle board exterior	Ed common

Detailing and Notching Details for Studs & Joists

1. Bottom and bearing walls maximum notch is 25% and bearing is 40%.
2. Notching shall be made in a flat or beveled and not greater than 2" deep.
3. No holes allowed closer than 1/2" to face of stud.
4. Provide #1 G gal steel wrap over notches greater than or equal to 50% of gable width.



4 SEASON STORAGE, TOMPKINS, LLC
 1400 DRYDEN RD
 ITHACA, NY 14850



CONSULTANTS

REVISION DESCRIPTION DATE

PROJECT NO. 01037

DESIGNED BY KAV

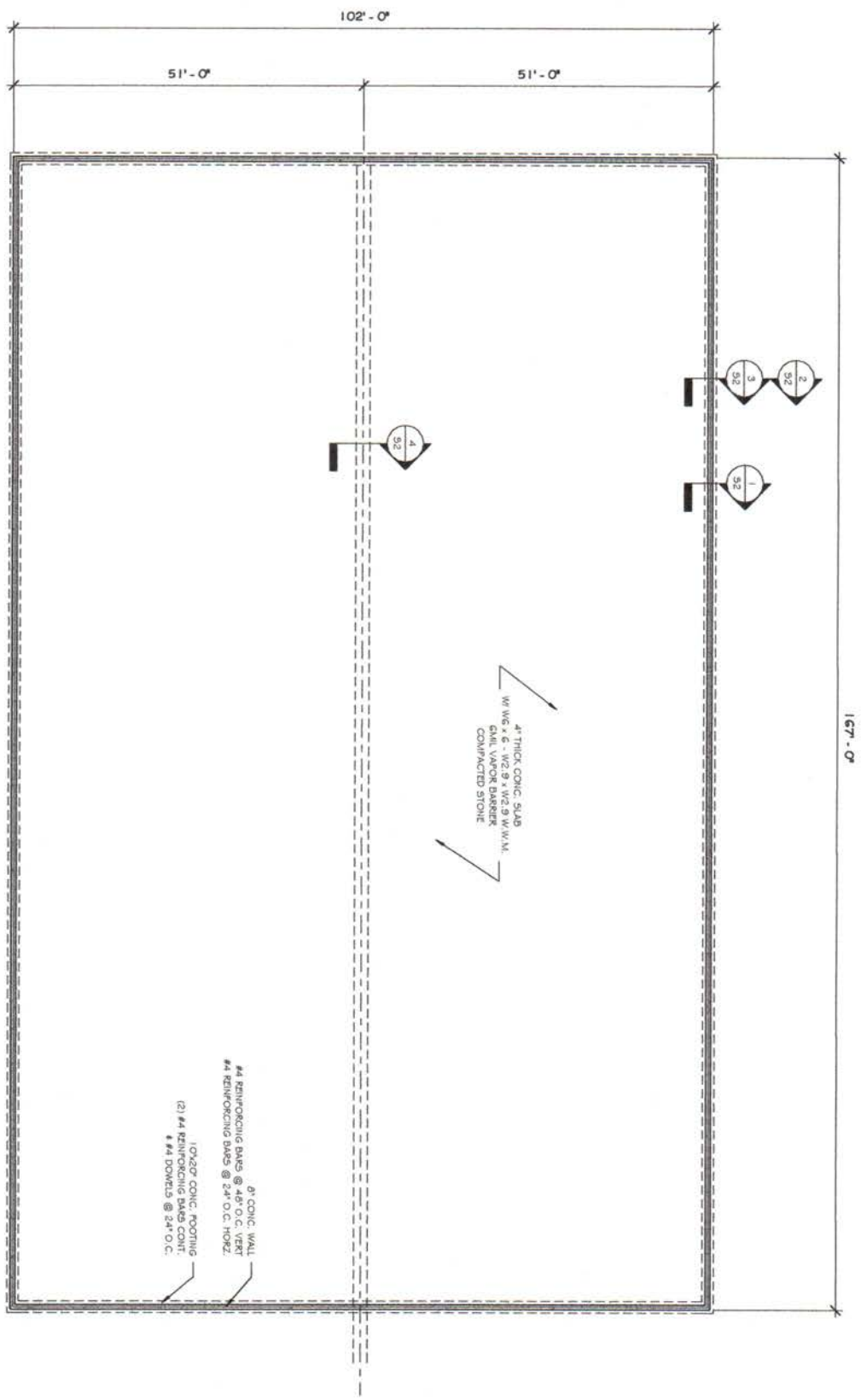
CHECKED BY KAV

DATE ISSUED 10/09/20

SCALE AS NOTED

GENERAL NOTES

G2



① FOUNDATION PLAN
3/32" = 1'-0"

7' THICK CONC. WALL
 #4 REINFORCING BARS @ 48" O.C. VERT
 #4 REINFORCING BARS @ 24" O.C. HORIZ.
 10x20' CONC. FOOTING
 (2) #4 REINFORCING BARS CONT.
 #4 DOWELS @ 24" O.C.

4" THICK CONC. SLAB
 16" X 20" X 8" W.W.M.
 #4 REINFORCING BARS @ 48" O.C. VERT
 COMPACTED STONE

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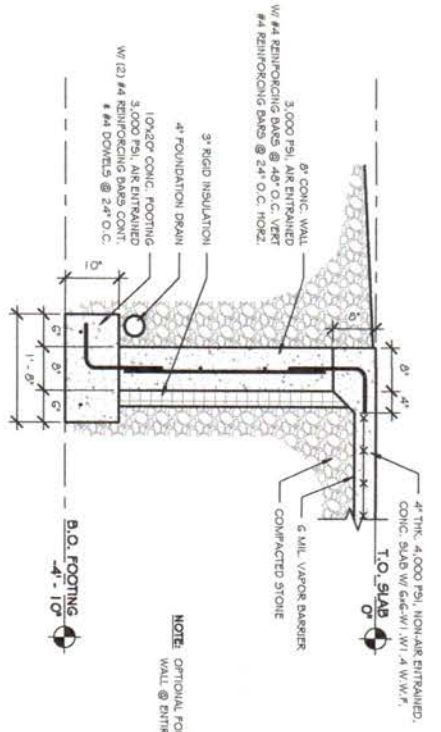


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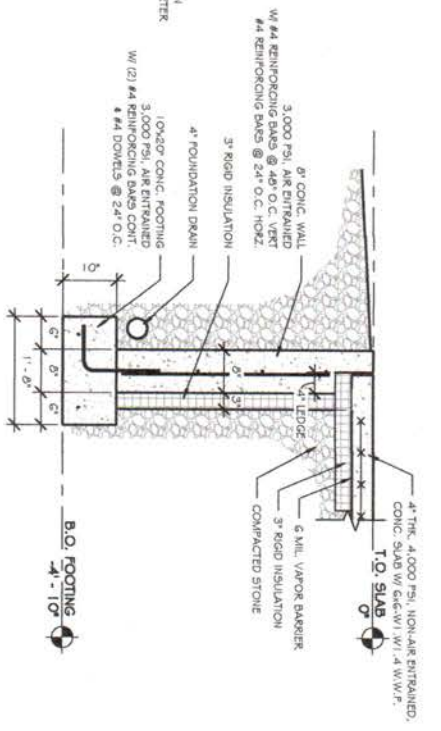
REVISION	DESCRIPTION	DATE
01037	BY ENGINEERING PROJECT NO.	
KAV	DRAWN BY	
KMV	CHECKED BY	
10/09/20	DATE ISSUED	
AS NOTED	SCALE	

FOUNDATION PLAN

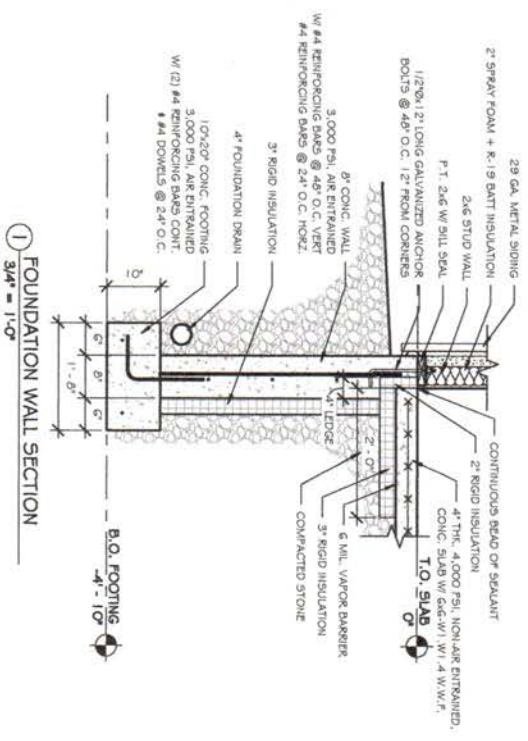
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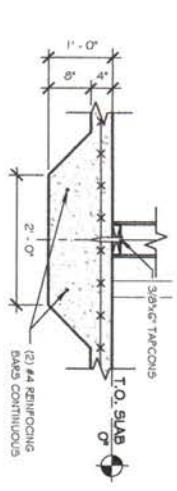
② FOUNDATION WALL SECTION @ DOORS - OPTION 1
3/4" = 1'-0"



③ FOUNDATION WALL SECTION @ DOORS - OPTION 2
3/4" = 1'-0"



① FOUNDATION WALL SECTION
3/4" = 1'-0"



④ HAUNCHED SLAB @ TRUSS BEARING WALL
3/4" = 1'-0"

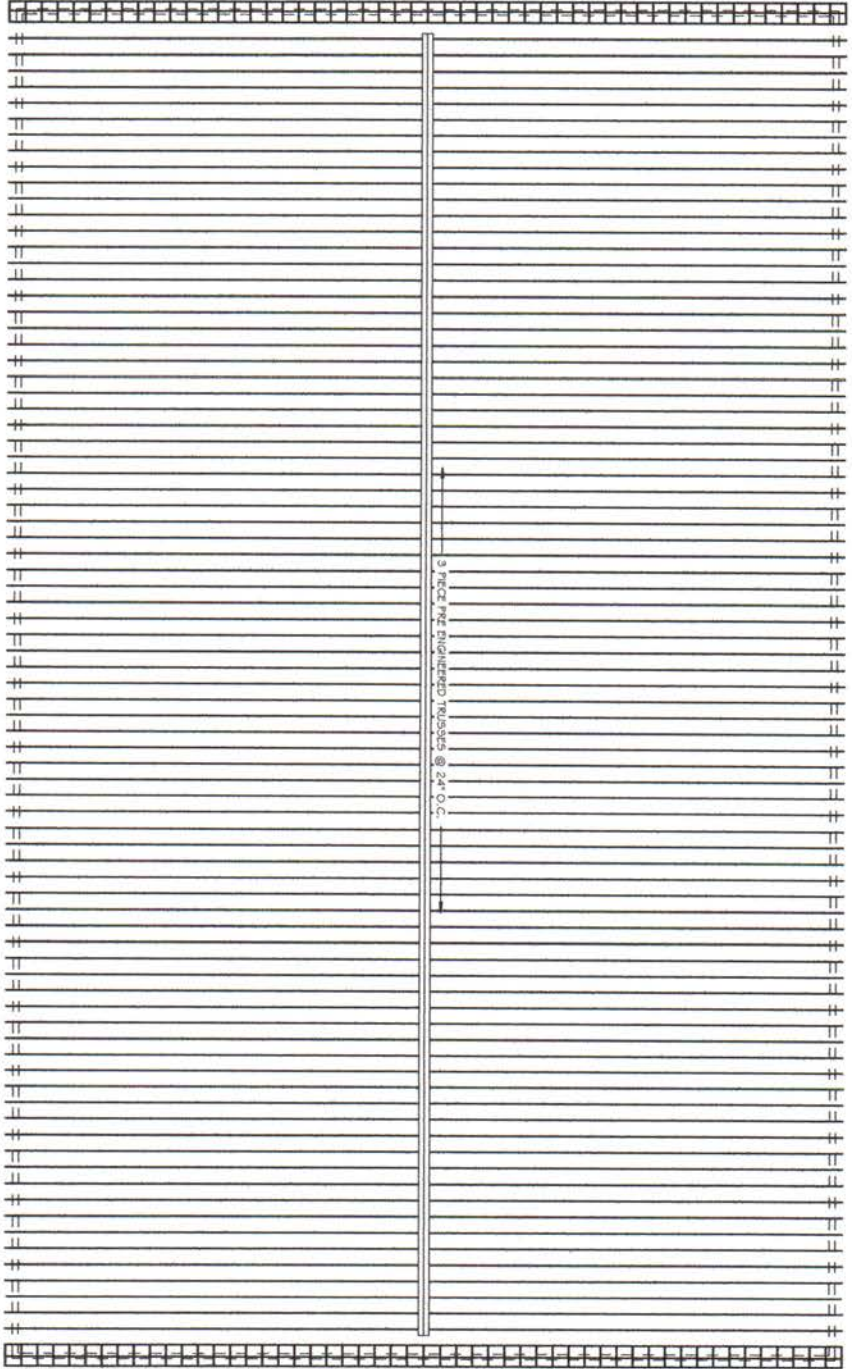


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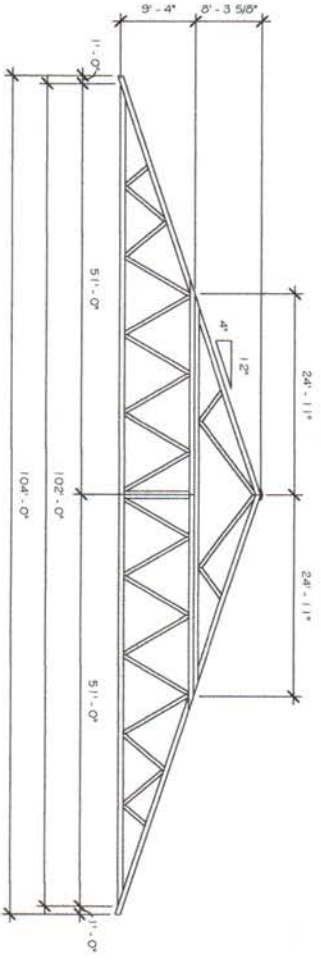
EXTENSION	NO. OF SHEETS	DATE
BY ENGINEERING PROJECT NO.		
DESIGNED BY	01037	
CHECKED BY	KAV	
INTERVIEWED	KMW	
SCALE	10/09/20	
AS NOTED		

FOUNDATION DETAILS

S2



1 ROOF FRAMING PLAN
3/32" = 1'-0"



2 3 PIECE TRUSS DETAIL
3/32" = 1'-0"



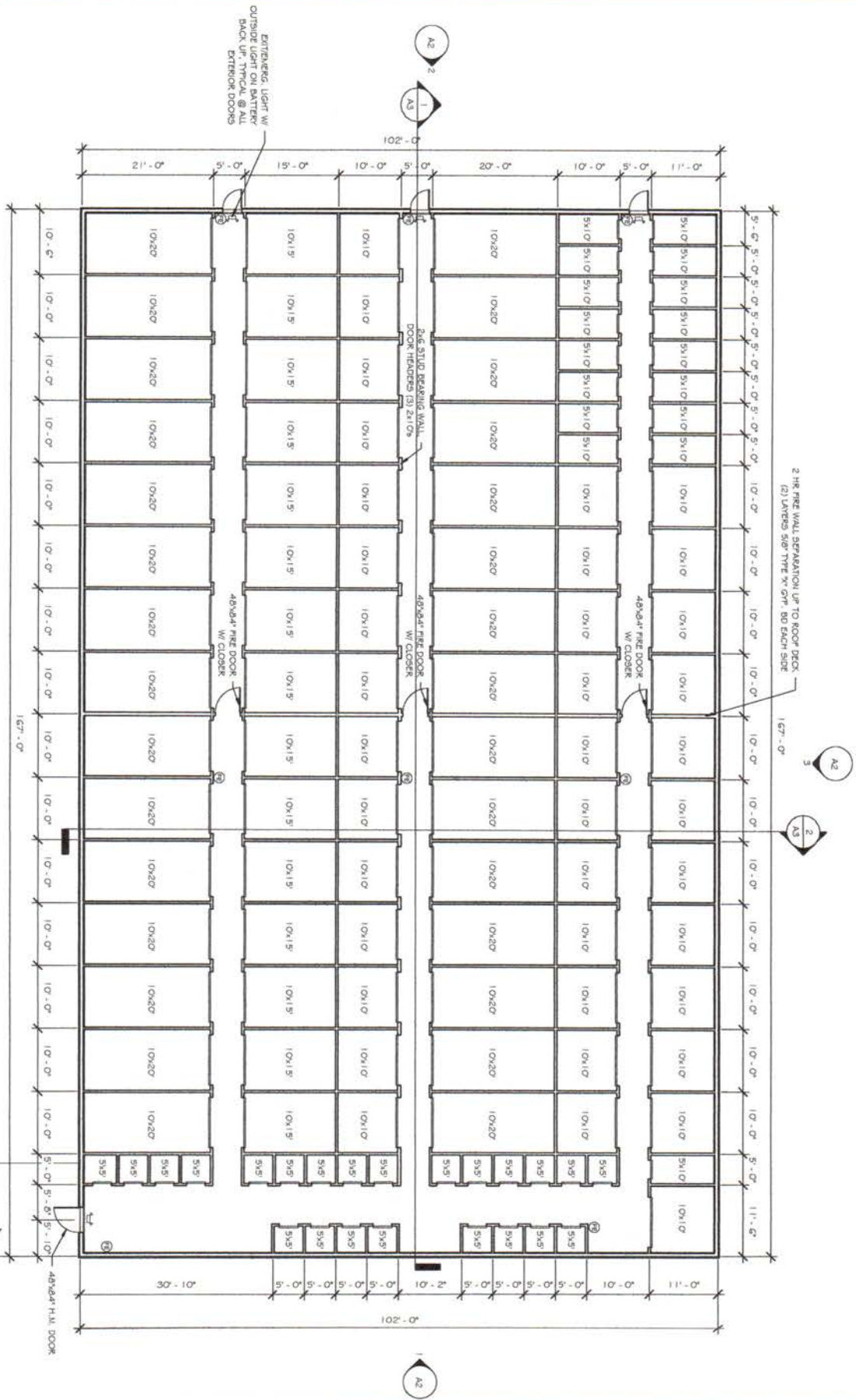
4 SEASON STORAGE, TOMPKINS, LLC

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REVISION	DESCRIPTION	DATE
01037	APPROVALS: PROJECT NO.	
	DRAWN BY: KAV	
	CHECKED BY: KMV	
	DATE ISSUED: 10/09/20	
	SCALE: AS NOTED	

ROOF FRAMING PLAN

S3



1 FLOOR PLAN
3/32" = 1'-0"

NOTE: ALL OVERHEAD ROLLING STEEL DOORS, 8'-0" x 7'-0" IN 1'-0" WIDE BAYS, 3'-11" x 7'-0" IN 5'-0" WIDE BAYS.

1.5x1.5' CONIC PAD FOR UNLOADING, VERIFY SIZE WITH OWNER.
Roof Design to be added.

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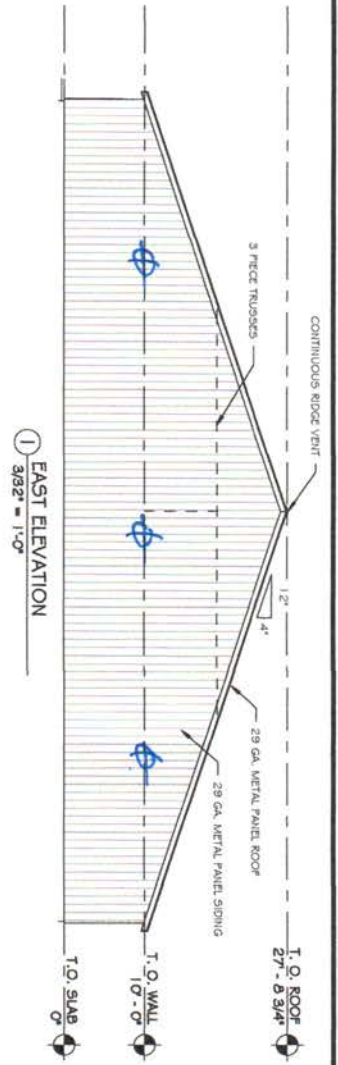


CONSULTANTS

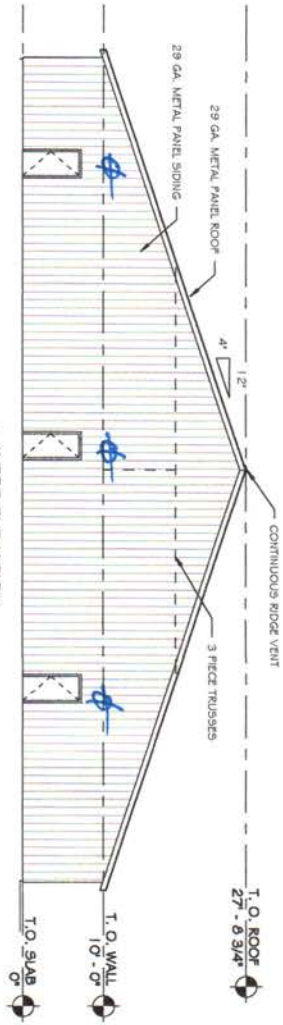
REVISION	DESCRIPTION	DATE
01037	CONSTRUCTION PERMITS	
01037	DRAWN BY	
KAV	CHECKED BY	
KMV	DATE REVISION	
10/09/20		
AS NOTED		

FLOOR PLAN

A1



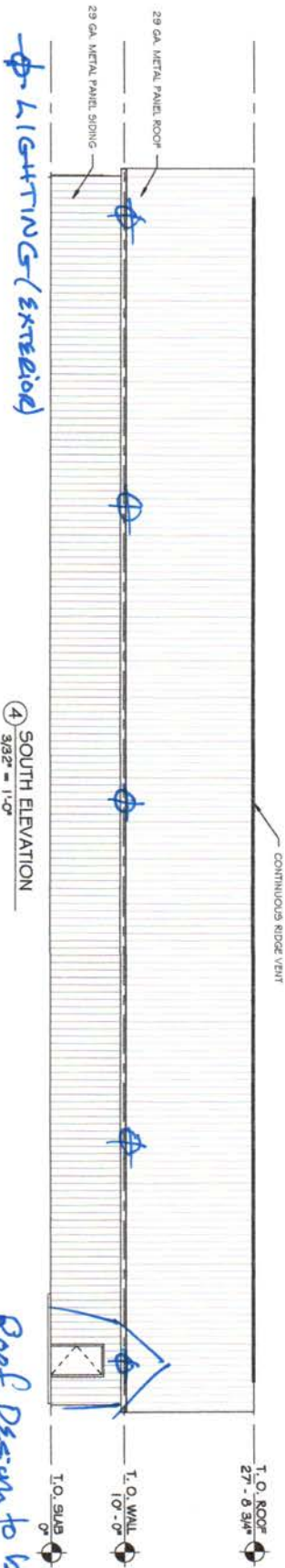
① EAST ELEVATION
3/82" = 1'-0"



② WEST ELEVATION
3/82" = 1'-0"



③ NORTH ELEVATION
3/82" = 1'-0"



④ SOUTH ELEVATION
3/82" = 1'-0"

*Roof Design to be
ADDED...*



CONSULTANTS

4 SEASON STORAGE, TOMPKINS, LLC

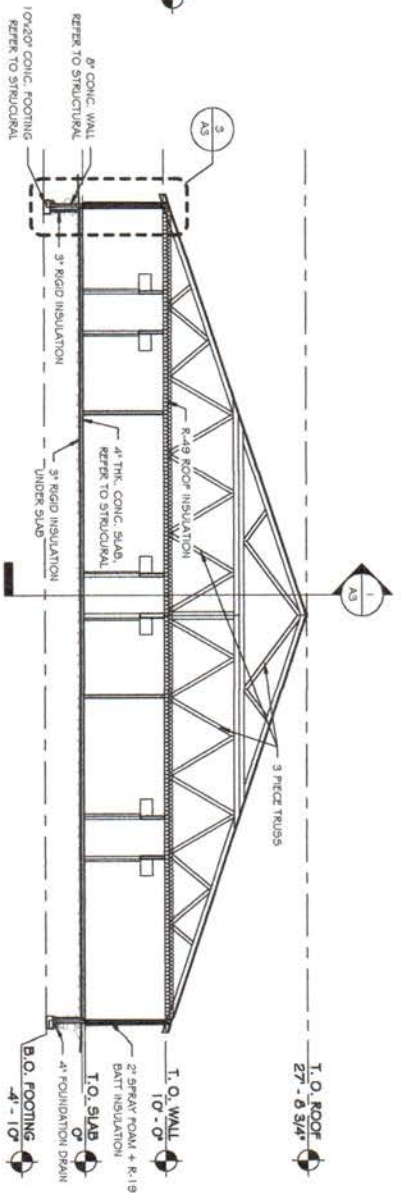
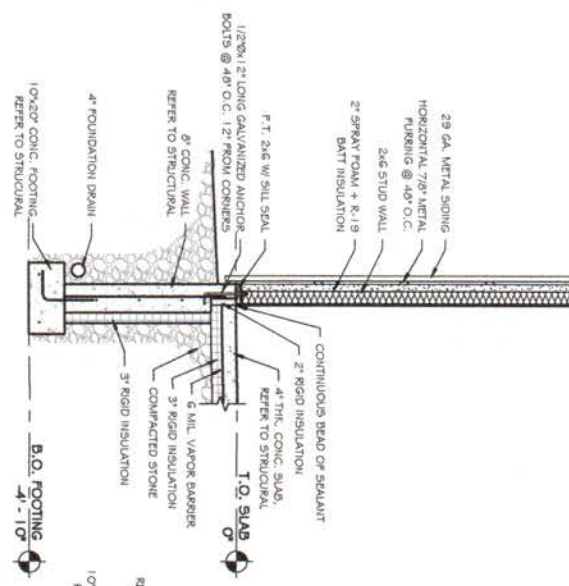
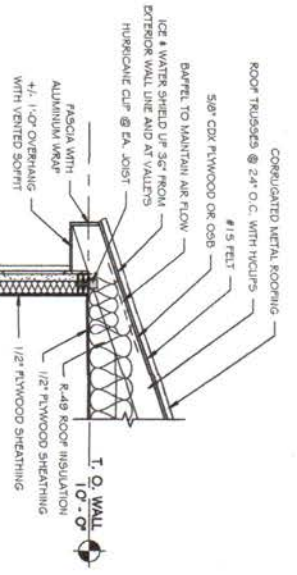
1400 DRYDEN RD
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DESCRIPTION DATE

OF INDEPENDENCE PROJECT NO. 01037
DESIGNED BY KAV
CHECKED BY KAV
DATE REVISION 10/09/20
SCALE AS NOTED

ELEVATIONS

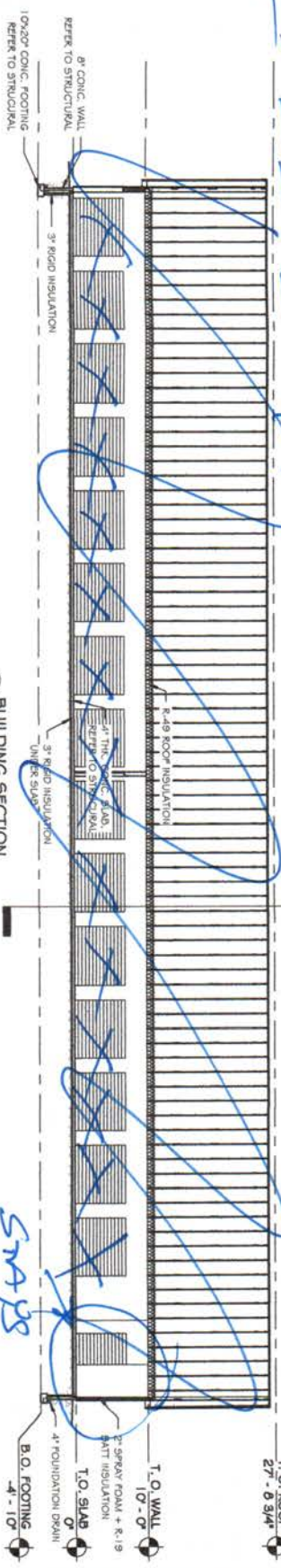
A2



3 WALL SECTION
1/2" = 1'-0"

2 BUILDING SECTION
3/32" = 1'-0"

Does To Be omitted / supported



1 BUILDING SECTION
3/32" = 1'-0"

snaps



4 SEASON STORAGE, TOMPKINS, LLC

1400 DRYDEN RD

A3

DATE REVISION	DESCRIPTION
10/09/20	01C
10/09/20	AS NOTE
SECTION:	