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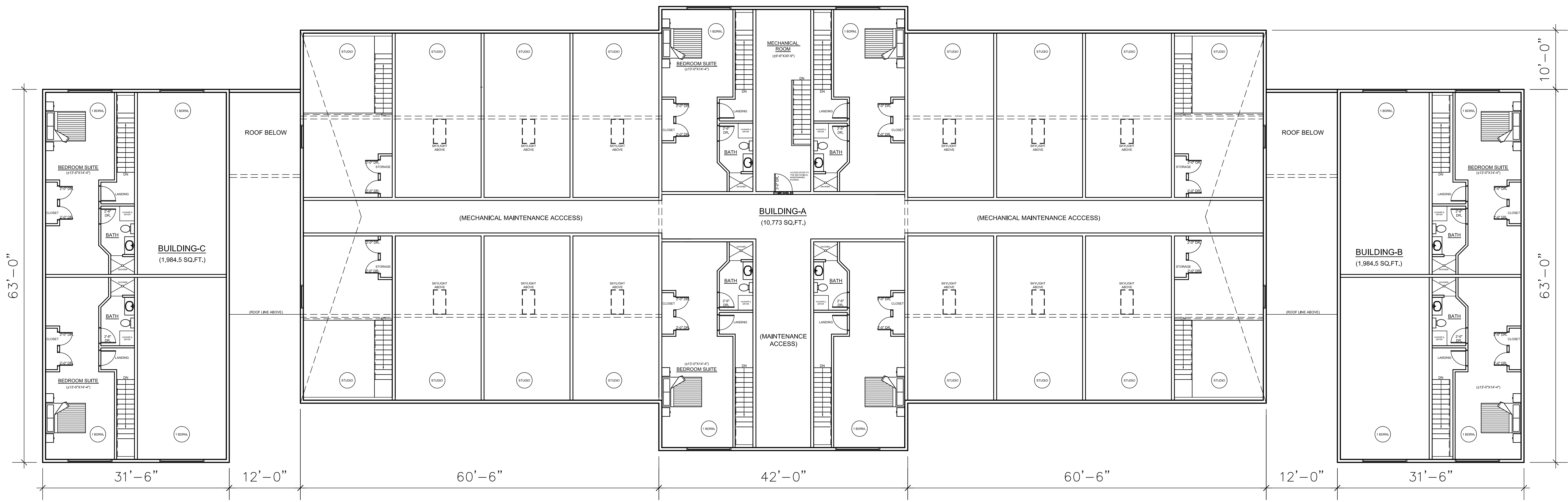


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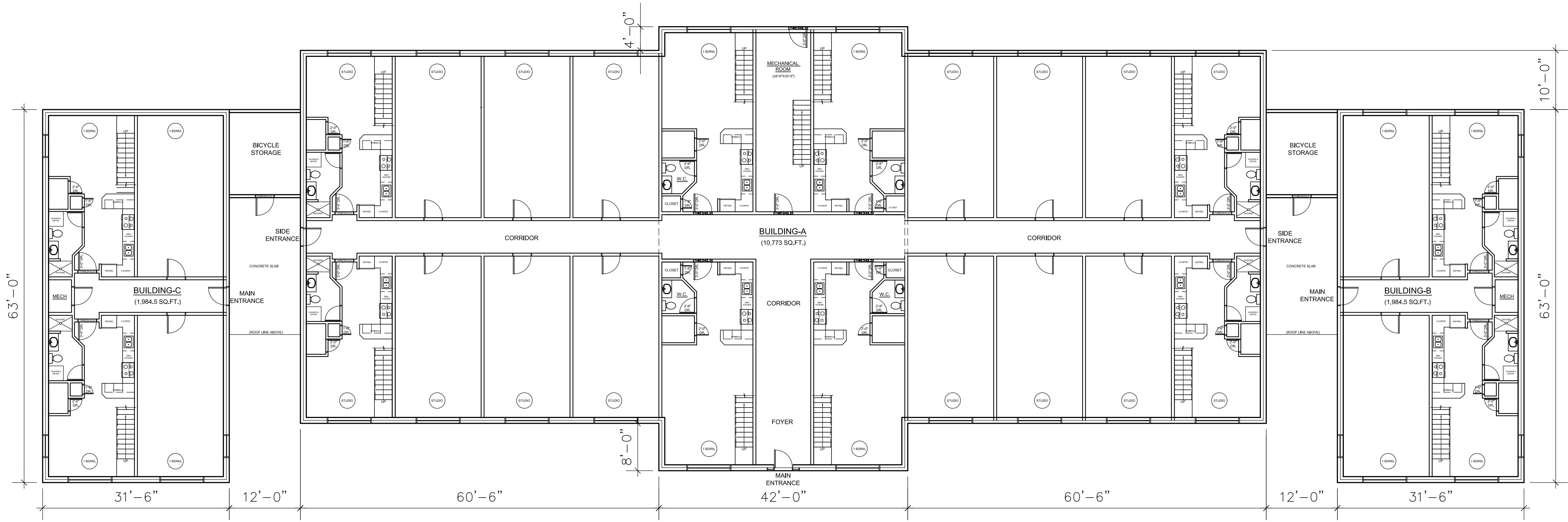
Apartment Building Project
1279 N.Y. State Route 366
Town of Dryden, New York

Project No:	GA-21-01-1
Revisions:	Orig. Date:
	XXX
Drawn By:	
Checked By:	JLG
Date:	March 25, 2021
Drawing Title:	

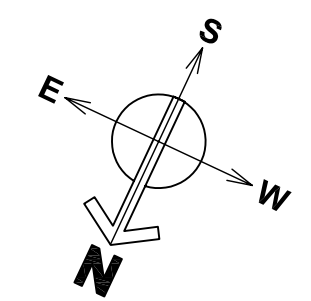
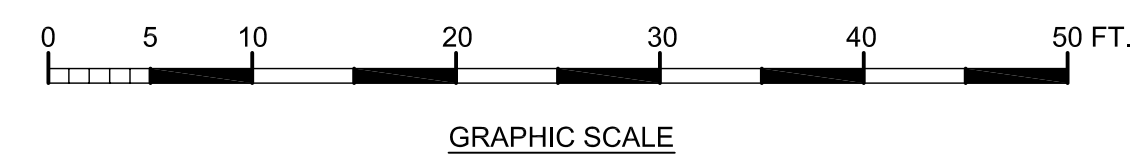
BUILDINGS FLOOR PLANS



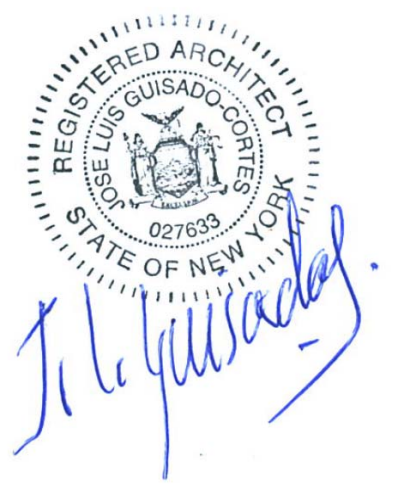
2 MAIN FLOOR PLAN
SCALE: 3/32" = 1 FT.



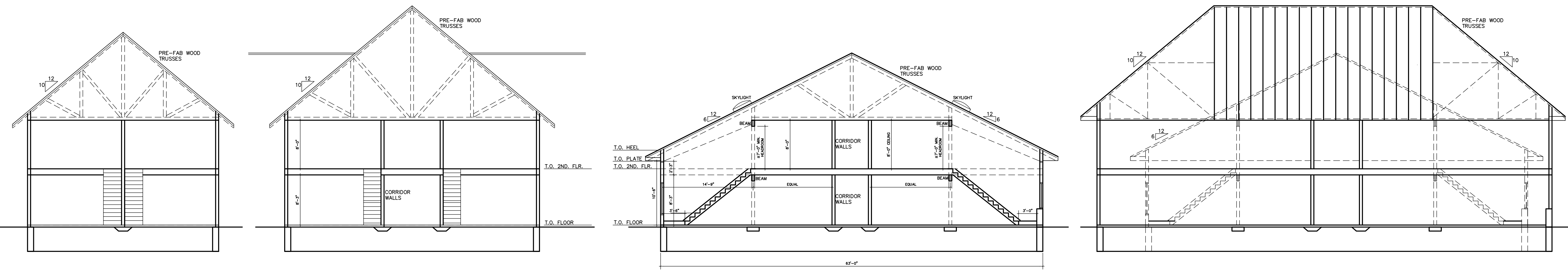
1 MAIN FLOOR PLAN
SCALE: 3/32" = 1 FT.



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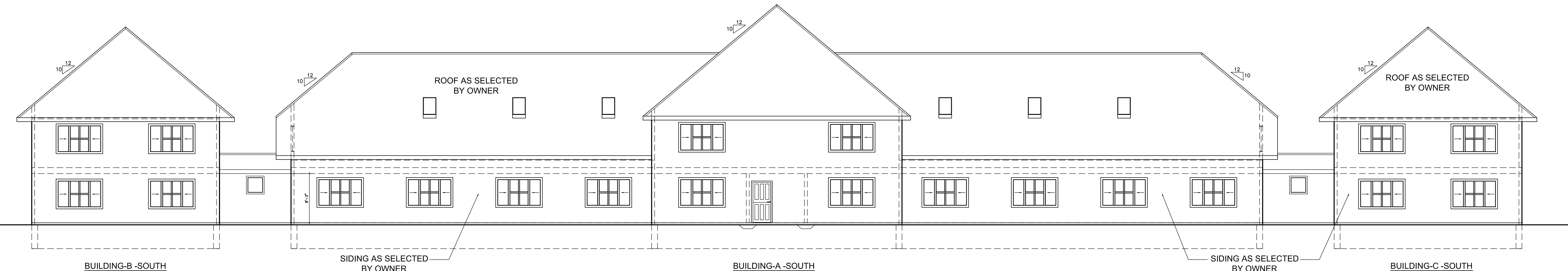
BUILDING-B & C - GENERAL SECTION

BUILDING-A - EAST-WEST GENERAL SECTION

BUILDING-A - EAST & WEST GENERAL SECTION

BUILDING-A - NORTH-SOUTH GENERAL SECTION

3 BUILDING SECTIONS
A-2 NTS.



BUILDING-B - SOUTH

SIDING AS SELECTED BY OWNER

BUILDING-A - SOUTH

SIDING AS SELECTED BY OWNER

BUILDING-C - SOUTH

2 SOUTH ELEVATION
A-2 NTS.



BUILDING-B - NORTH

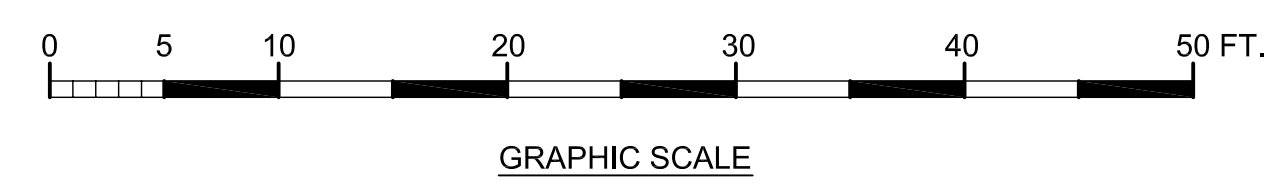
SIDING AS SELECTED BY OWNER

BUILDING-A - NORTH

SIDING AS SELECTED BY OWNER

BUILDING-C - NORTH

1 NORTH ELEVATION
A-2 NTS.



GRAPHIC SCALE

Apartment Building Project
1279 N.Y. State Route 366
Town of Dryden, New York

Project No: GA-21-01-1

Revisions: Orig. Date:
XXX

Drawn By:

Checked By: JLG

Date: March 25, 2021

Drawing Title:
EXTERIOR ELEVATIONS AND GENERAL SECTIONS

Sheet No. **A-2**

Apartment Building Project
1279 N.Y. State Route 366
Town of Dryden, New York

Project No: GA-21-01-1

Revisions: Orig. Date:

XXX

Drawn By:

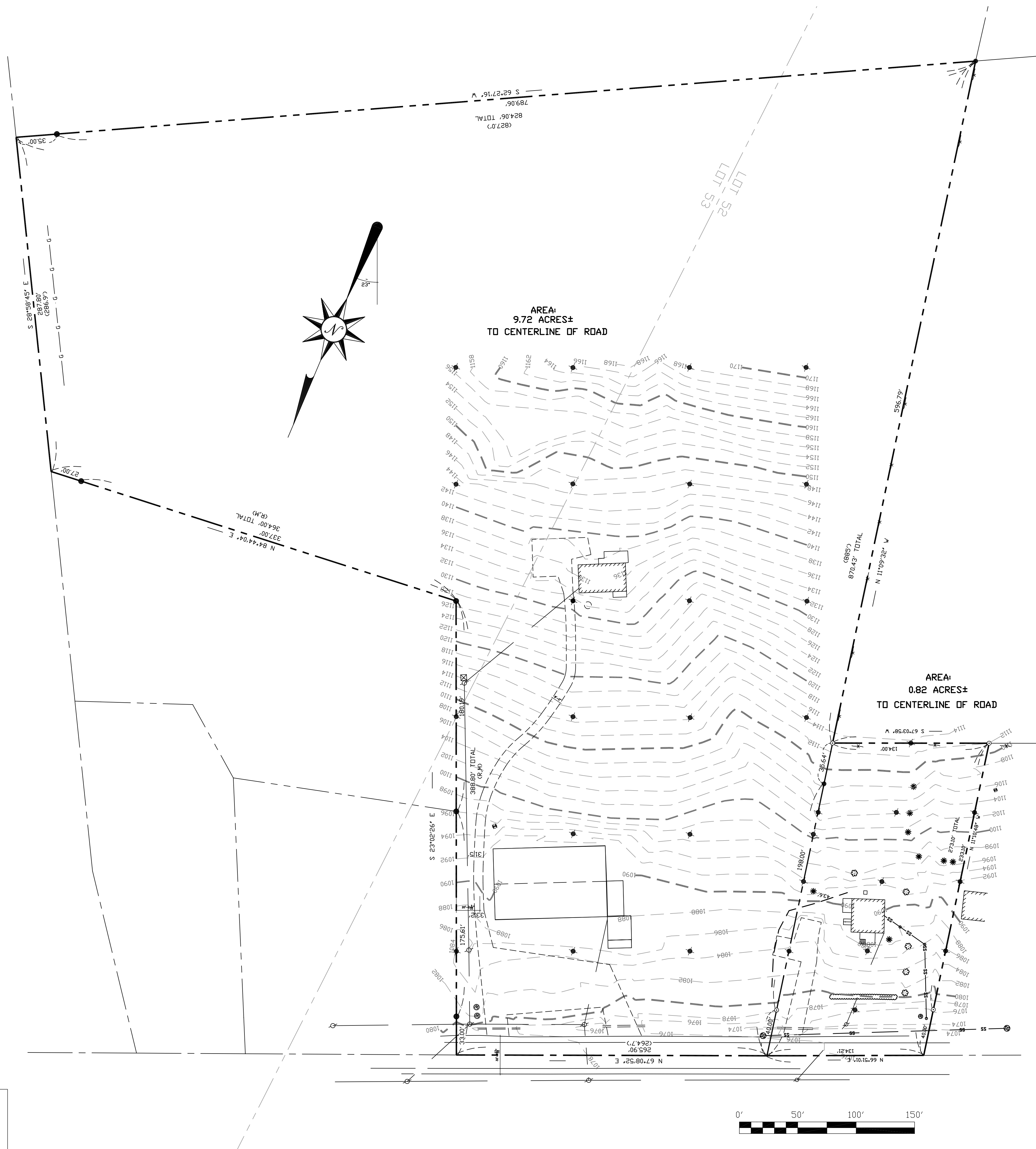
Checked By: JLG

Date: March 25, 2021

Drawing Title:

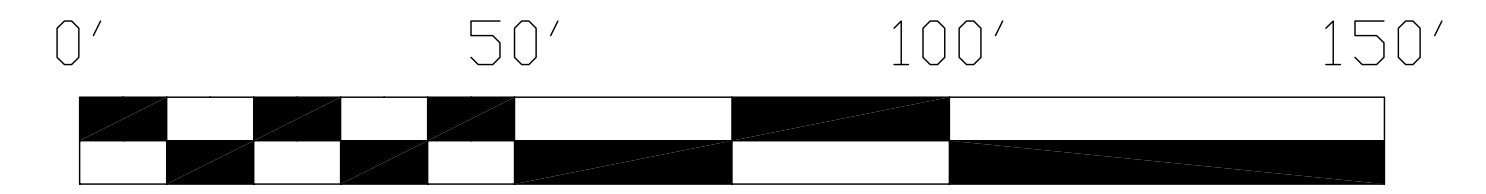
PROPERTY SURVEY

Sheet No. **S-0**



IMPORTANT NOTE:
THE SURVEY WAS CREATED
BY: REAGAN LAND SURVEYING
DRYDEN, N.Y.

1 PROPERTY SURVEY
S-1 (FOR REFERENCE ONLY) NTS.

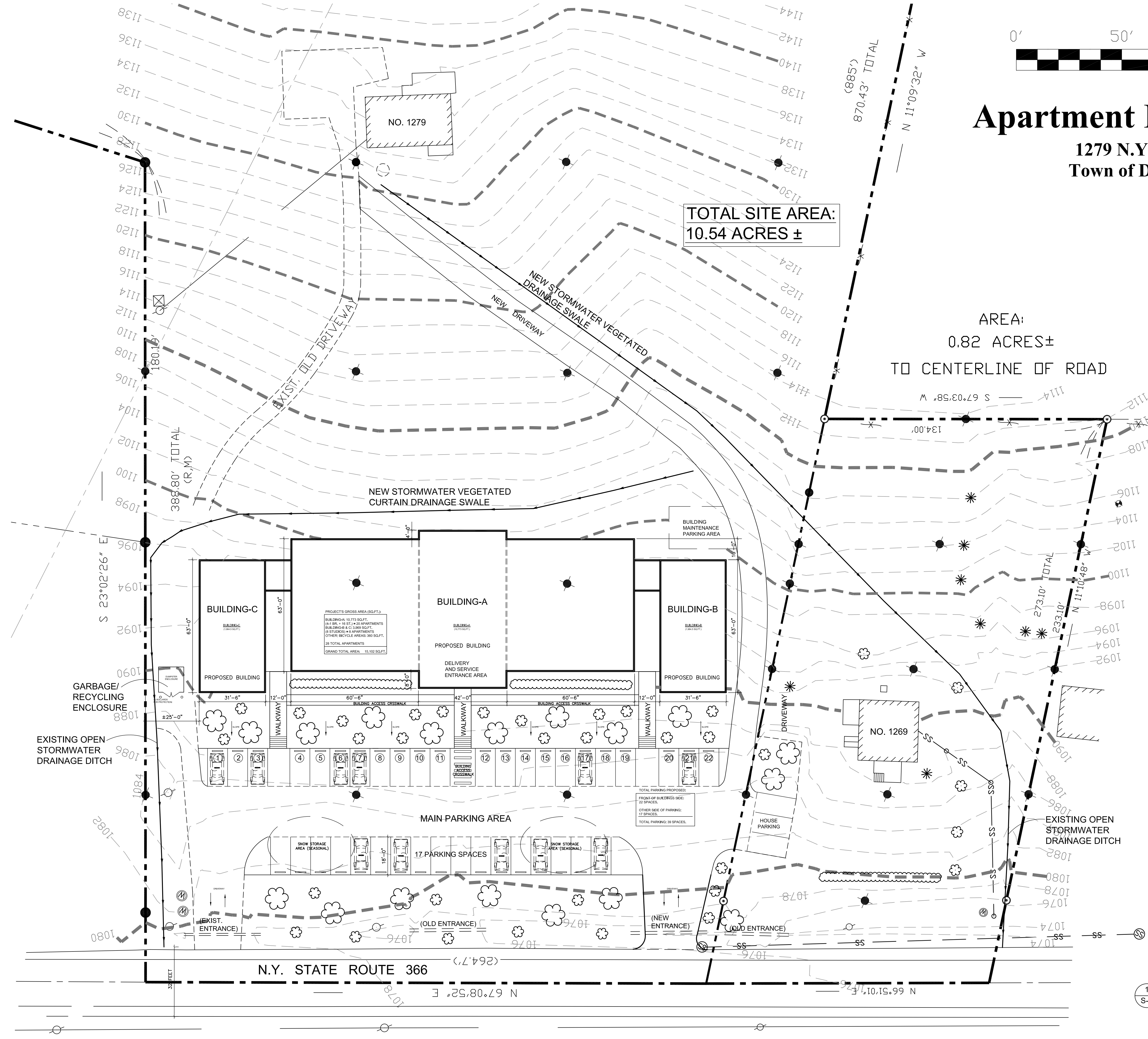


Apartment Building Project

1279 N.Y. State Route 366
Town of Dryden, New York

TOTAL SITE AREA:
10.54 ACRES ±

AREA:
0.82 ACRES ±
TO CENTERLINE OF ROAD

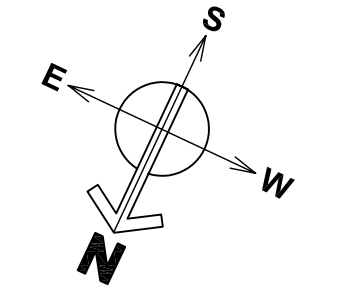


PLANTING LEGEND:

- WILD COLUMBINE
- SWEET PEPPERBUSH
- BLACK CHOCKEBERRY
- WINTERBERRY
- WILD PLUM
- EASTERN REDBUD
- FLOWERING DOGWOOD
- PITCH PINE
- GRASS AREA

NOTES: ALL PLANTS LISTED ARE NEW YORK STATE NATIVE SPECIES. SELECT FROM THIS TREE AND BUSH LEGEND THE NECESSARY PLANTING FOR THE NEW LANDSCAPE.

1 SITE DEVELOPMENT PLAN
S-1 SCALE: 1/24" = 1 FT.





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1279 N.Y. State Route 366
Town of Dryden, New York

Project No: GA-21-01-1

Revisions: Orig. Date:
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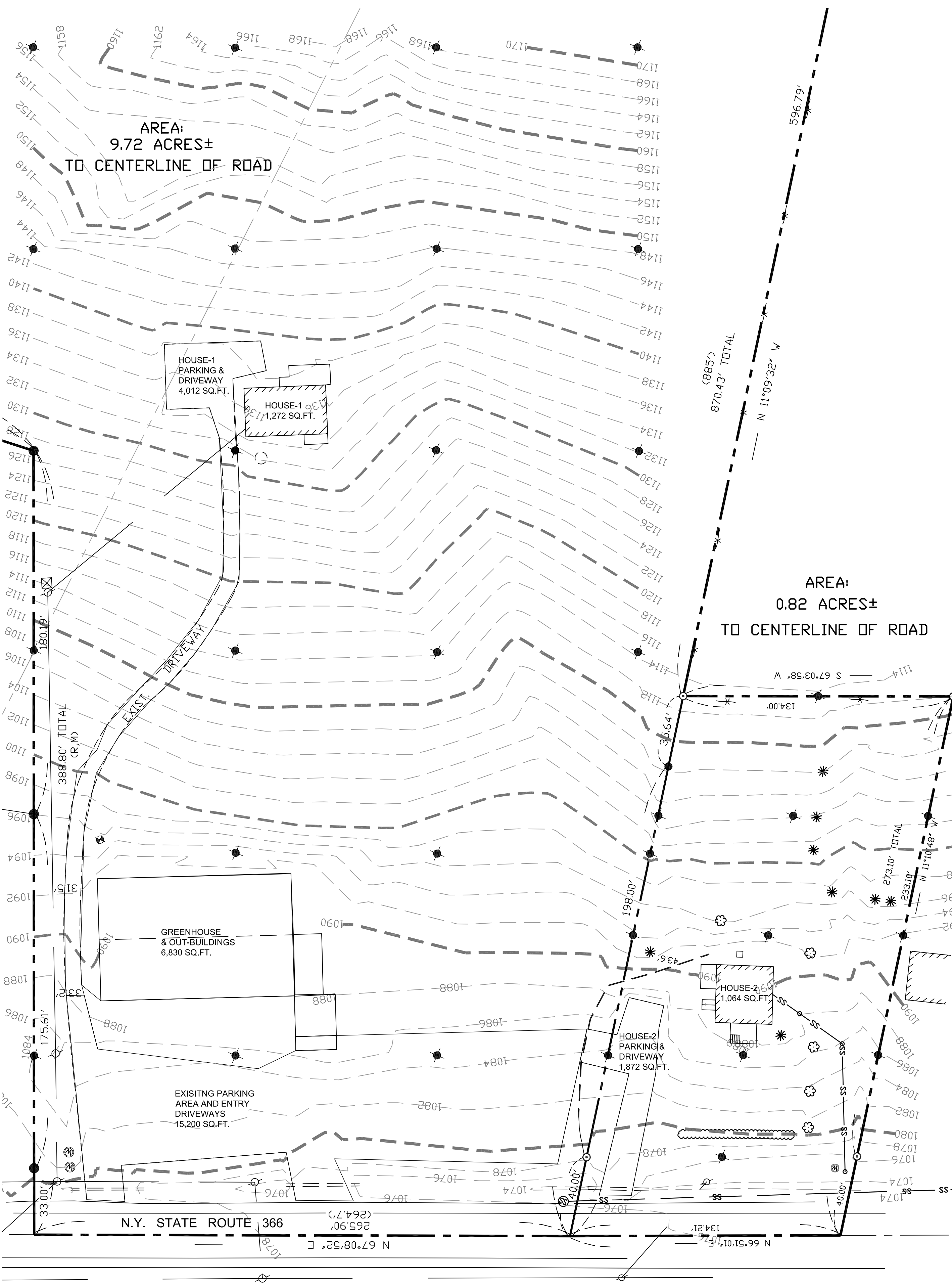
Drawn By:
Checked By: JLG

Date: March 25, 2021

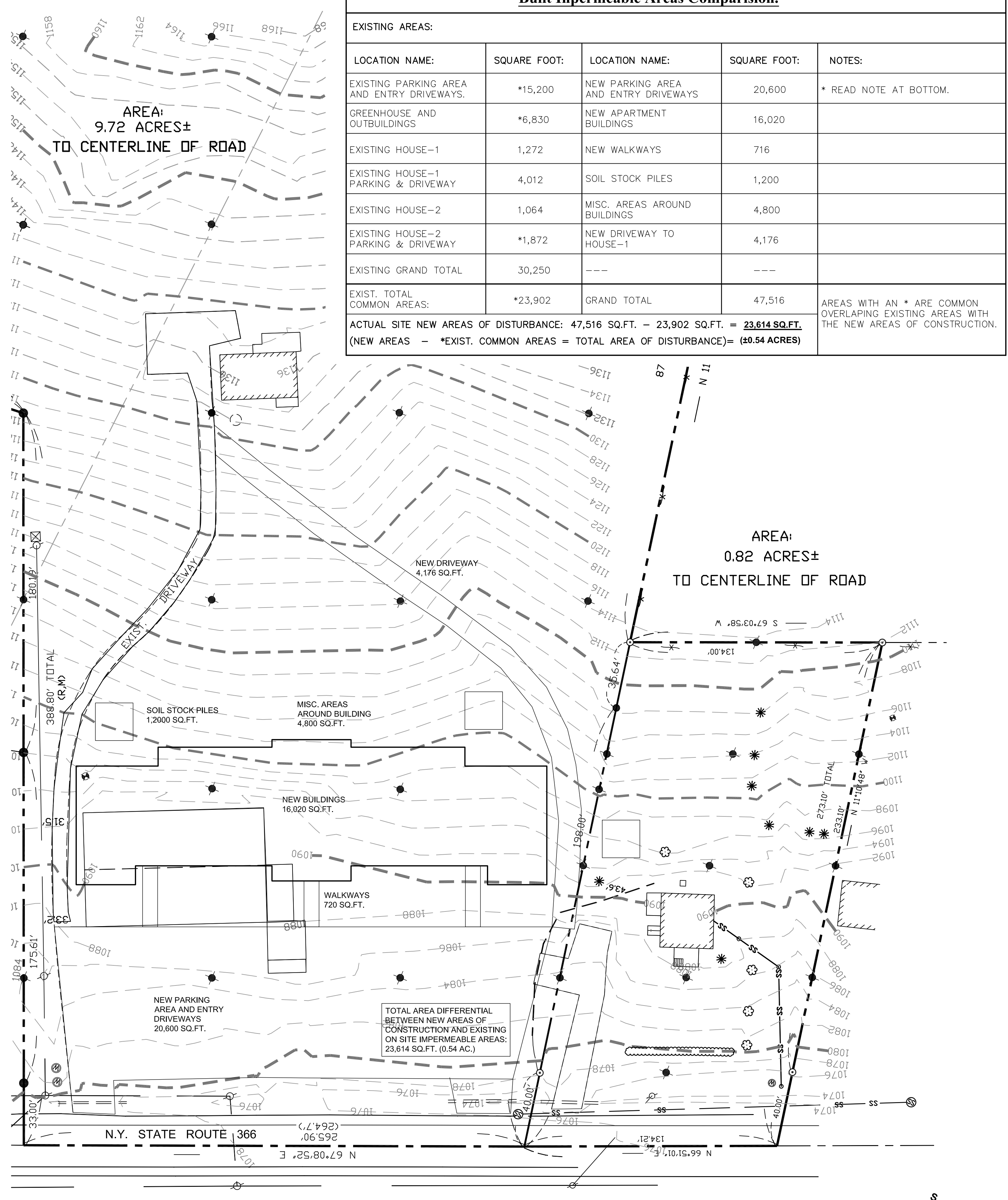
Drawing Title:
SITE PLAN WITH IMPERMEABLE AREAS AND EXPLANATORY TABLE

Sheet No. **S-3**

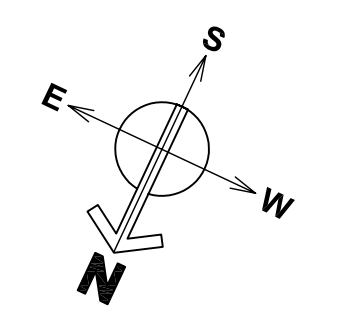
Site Areas Affected by New Construction Vs. Existing Built Impermeable Areas Comparison.				
EXISTING AREAS:				
LOCATION NAME:	SQUARE FOOT:	LOCATION NAME:	SQUARE FOOT:	NOTES:
EXISTING PARKING AREA AND ENTRY DRIVEWAYS.	*15,200	NEW PARKING AREA AND ENTRY DRIVEWAYS	20,600	* READ NOTE AT BOTTOM.
GREENHOUSE AND OUTBUILDINGS	*6,830	NEW APARTMENT BUILDINGS	16,020	
EXISTING HOUSE-1	1,272	NEW WALKWAYS	716	
EXISTING HOUSE-1 PARKING & DRIVEWAY	4,012	SOIL STOCK PILES	1,200	
EXISTING HOUSE-2	1,064	MISC. AREAS AROUND BUILDINGS	4,800	
EXISTING HOUSE-2 PARKING & DRIVEWAY	*1,872	NEW DRIVEWAY TO HOUSE-1	4,176	
EXISTING GRAND TOTAL	30,250	---	---	
EXIST. TOTAL COMMON AREAS:	*23,902	GRAND TOTAL	47,516	AREAS WITH AN * ARE COMMON OVERLAPPING EXISTING AREAS WITH THE NEW AREAS OF CONSTRUCTION.
ACTUAL SITE NEW AREAS OF DISTURBANCE: 47,516 SQ.FT. - 23,902 SQ.FT. = 23,614 SQ.FT. (NEW AREAS - *EXIST. COMMON AREAS = TOTAL AREA OF DISTURBANCE) = (0.54 ACRES)				



2 SITE PLAN WITH EXISTING IMPERMEABLE AREAS
SCALE: 1/24" = 1 FT.



1 SITE PLAN WITH NEW DISTURBANCE AREAS
SCALE: 1/24" = 1 FT.



I. EROSION & SEDIMENT POLLUTION CONTROL (E & SPC) GUIDELINES:
(USE ONLY NOTES APPLICABLE TO THE PROJECT)

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING EROSION AND SEDIMENT CONTROL TO PROTECT SURROUNDING WATER BODIES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION CONTROL AND MAINTENANCE OF SOIL EROSION AND SEDIMENT CONTROL FACILITIES TO ENSURE PROPER FUNCTIONING OF SAID FACILITIES (DURING CONSTRUCTION).
3. AFTER THE PROJECT HAS BEEN COMPLETED, THE CONTRACTOR SHALL HAVE THE RESPONSIBILITY FOR ENSURING THAT ALL TEMPORARY SOIL EROSION AND SEDIMENT CONTROL MEASURES HAVE BEEN REMOVED OR REPLACED BY PERMANENT CONTROLS.
4. THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP), WHICH INCLUDES THE E&S PLANS, DEFINES AND MEETS THE REQUIREMENTS OF THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYSDEC) PHASE II STORM WATER REGULATIONS.
5. EROSION CONTROL MEASURES INSTALLED AND MAINTAINED BY THE SITE WORK CONTRACTOR ARE SUBJECT TO THE REVIEW AND APPROVAL NYSDEC, DESIGN ENGINEER AND OWNERS REPRESENTATIVE. IMMEDIATE ACTION BY THE CONTRACTOR SHALL BE TAKEN IF ADDITIONAL OR CORRECTIVE MEASURES ARE REQUIRED BY ANY ONE OF THESE CITED REVIEWERS. EROSION CONTROL MEASURES NOT SPECIFICALLY SHOWN ON CONTRACT DRAWINGS, SHALL BE INSTALLED AS WARRANTED BY FIELD CONDITIONS AND AS DIRECTED BY THE AFOREMENTIONED REVIEWERS.
6. AS DESIGN ENGINEER, OUR OFFICE HAS NOTIFIED THE OWNER OF THE INSPECTION REQUIREMENTS UNDER THE GENERAL PERMIT. DISTURBANCES OF ONE ACRE OR GREATER REQUIRE THAT THE OWNER FILE A NOTICE OF INTENT AND A SWPPP WITH THE NYSDEC UNDER STATE POLLUTANT DISCHARGE ELIMINATION SYSTEM (SPDES). THE REGULATIONS REQUIRE THAT A LICENSED PROFESSIONAL COMPLETE A WEEKLY INSPECTION THROUGHOUT THE PERIOD OF LAND DISTURBANCE AND AN INSPECTION AFTER EVERY EVENT OF 12 INCH OR MORE OF RAIN.
7. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED FOR MORE THAN 5 DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW OR EQUIVALENT MATERIAL, AT A RATE OF 2.5 - 3.0 TONS PER ACRE, ACCORDING TO STATE STANDARDS.
8. PERMANENT VEGETATION TO BE SEED OR SODDED ON ALL EXPOSED AREAS WITHIN FIVE (5) DAYS AFTER FINAL GRADING. MULCH AS NECESSARY FOR SEED PROTECTION AND ESTABLISHMENT. LIME AND FERTILIZER SEED BED PRIOR TO PERMANENT SEEDING.
9. EROSION AND SEDIMENT POLLUTION CONTROL FACILITIES AND PRACTICES, UTILIZED IN THE CONSTRUCTION OF THE PROJECT, SHALL BE CONSISTENT WITH THE LATEST EDITIONS OF THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, THE NEW YORK STATE STORM WATER MANAGEMENT DESIGN MANUAL, AND THE NEW YORK STATE SPDES GENERAL PERMIT FOR STORM WATER DISCHARGES.
10. NATURAL VEGETATION SHALL BE RETAINED, PROTECTED, AND SUPPLEMENTED, AS FEASIBLE PRIOR TO AND DURING CONSTRUCTION.
11. CUT AND FILL SLOPES SHALL BE BROUGHT TO FINAL PROPOSED GRADES AS SOON AS POSSIBLE IN THE CONSTRUCTION SEQUENCES, AND SEEDED AND MULCHED IMMEDIATELY.
12. EROSION AND SEDIMENT POLLUTION CONTROL FACILITIES (STONE CHECK DAMS, FILTER FABRIC FENCING, STABILIZED CONSTRUCTION ENTRANCES, AND OTHER ACCEPTABLE FACILITIES) SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION UNTIL COMPLETE SITE STABILIZATION.
13. HEAVY CONSTRUCTION EQUIPMENT SHALL BE KEPT AS CLOSE TO THE WORK AREA AS PRACTICED TO MINIMIZE DISTURBANCE OF SOIL ALREADY STABILIZED OR UNDISTURBED.
14. TOPSOIL AND OTHER SOIL REMOVED DURING CONSTRUCTION SHALL BE STOCKPILED IN A SUITABLE LOCATION CLEAR FROM ANY STORM WATER DRAINAGE COURSES. STOCKPILES WHICH ARE INACTIVE FOR MORE THAN 5 DAYS SHALL BE SEED.
15. VEGETATIVE STABILIZATION SHALL BE PERIODICALLY INSPECTED FOR SUFFICIENT GROWTH AND PROGRESS. AREAS NOT RESPONDING SHALL BE PROMPTLY RESEDED AND REMULCHED AS SOON AS POSSIBLE. AREAS SHOWING SIGNS OF EROSION PRIOR TO STABILIZATION SHALL BE GRADED, RESEDED, AND REMULCHED AS SOON AS POSSIBLE. SOD OR EROSION CONTROL FABRIC SHALL BE UTILIZED WHERE ADEQUATE STABILIZATION IS NOT OCCURRING.
16. ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED BEFORE BEGINNING EARTH MOVING ACTIVITIES, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
17. A STABILIZED CONSTRUCTION ENTRANCE PAD OF 1.5' TO 2' CLEAN STONE WILL BE PLACED AT ALL CONSTRUCTION DRIVEWAYS IMMEDIATELY AFTER INITIAL SITE DISTURBANCE.
18. THE APPLICATION OF TOPSOIL, LIMING, FERTILIZING, SEEDING, AND MULCHING FOR DISTURBED AREAS SHALL BE CONSISTENT WITH THE STANDARD GENERAL PRACTICES FOR CONSTRUCTION.
19. IMMEDIATELY FOLLOWING INITIAL DISTURBANCES OF ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E., STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF 2.5 - 3.0 TONS PER ACRE.
20. AT THE TIME WHEN SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS TO BE ESTABLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER.
21. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
22. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN EROSION AND SEDIMENT CONTROL MEASURES UNTIL ALL AREAS HAVE BEEN PERMANENTLY STABILIZED.

II. MULCHING AND SEEDING REQUIREMENTS:

1. SEEDBED PREPARATION:
 - a. APPLY LIMESTONE (EQUIVALENT TO 50 PERCENT (50%) CALCIUM PLUS MAGNESIUM OXIDES) AT A RATE OF 90 POUNDS PER 1,000 SQUARE FEET. APPLY FERTILIZER AT A RATE OF 600 POUNDS PER ACRE OR 14 POUNDS PER 1,000 SQUARE FEET USING 10-20-10 OR EQUIVALENT.
 - b. WORK LIME AND FERTILIZER INTO SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRINGTOOTH HARROW OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISCING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLY UNIFORM SEEDBED IS PREPARED.
 - c. INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACT, THE AREA MUST BE RETILLED AS ABOVE
2. SEEDING:
 - a. APPLY LAWN MIX AT A RATE (SEE SPECIFICATIONS)
 - b. APPLY SEED WITH MECHANICAL SEEDER. OPTIMUM SEEDING DEPTH IS ONE INCH (EXCEPT SANDY SOILS, 2 INCHES).
 - c. WHERE FEASIBLE, EXCEPT WHERE EITHER A CULTIPAKER TYPE SEEDER OR HYDROSEEDER IS USED, THE SEEDBED SHALL BE FIRMED FOLLOWING SEEDING OPERATIONS WITH A ROLLER, OR LIGHT DRAG. SEEDING OPERATIONS SHOULD BE ON THE CONTOUR.
3. MULCHING
 - a. MULCH MATERIALS SHALL BE UNROTTED SALT HAY OR SMALL GRAIN STRAW AT A RATE OF 2-1/2 TO 3 TONS PER ACRE, OR 70 TO 90 POUNDS PER 1,000 SQUARE FEET. MULCH SHOULD NOT BE GROUND OR CHOPPED INTO SHORT PIECES.
 - b. SPREAD UNIFORMLY BY HAND OR MECHANICALLY SO THAT APPROXIMATELY 75 PERCENT TO 95 PERCENT OF THE SOIL SURFACE WILL BE COVERED.
 - c. MULCH ANCHORING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER. 1. MULCHING NETTINGS - STAPLE, JUTE OR COTTON NETTINGS TO THE SOIL SURFACE. USE A DEGRADABLE NETTING IN AREAS TO BE MOWED.

III. MAINTENANCE AND REPAIR OF EROSION AND SEDIMENT FACILITIES:

1. PROPER MAINTENANCE AND REPAIR OF EROSION AND SEDIMENT CONTROL FACILITIES ARE NECESSARY TO THE EFFECTIVENESS OF THE EROSION AND SEDIMENT POLLUTION CONTROL FACILITIES.
2. DISTURBED GROUND SURFACES SHALL BE SPRINKLED WITH WATER, AS NEEDED, TO LIMIT THE FORMATION AND MIGRATION OF AIRBORNE DUST.
3. OPERATIONAL MEASURES SHALL BE EMPLOYED DURING CONSTRUCTION TO PREVENT THE SPILLS OF FUELS AND LUBRICANTS. IF A SPILL OCCURS, IT SHALL BE CONTROLLED IMMEDIATELY TO PREVENT ITS ENTRY INTO OFF-SITE AREAS INCLUDING ADJACENT STORM SEWER.
4. ANY TEMPORARY EROSION CONTROL FACILITY SHALL REMAIN FUNCTIONAL UNTIL VEGETATIVE COVER IS SUFFICIENTLY ESTABLISHED WITHIN THE RESPECTIVE TRIBUTARY DRAINAGE AREA.
5. ANY DEBRIS ACCUMULATED IN EROSION AND SEDIMENT CONTROL FACILITIES SHALL BE REMOVED AND PROPERLY DISPOSED. THESE FACILITIES SHALL BE CHECKED DAILY AND AFTER RAINFALL EVENTS, AND REALIGNED AS NEEDED. SEDIMENT SHALL BE REMOVED WHEN IT REACHES THE FOLLOWING DEPTHS:
 - SILT SOCK - 1/2 HEIGHT (6 INCHES)
 - CHECK DAM - 1/2 HEIGHT (5 INCHES)
- NOTE: DISTURBED AREAS SHALL BE CONSIDERED AS PERMANENTLY STABILIZED WHEN A MINIMUM COVER OF 80% HAS BEEN ESTABLISHED.
6. ANY EROSION AND SEDIMENT CONTROL DEVICES THAT ARE NOTED AS DEFICIENT BY AN INSPECTOR OR NYSDEC STAFF SHALL BE REPAIRED OR REPLACED WITHIN ONE WEEKS TIME.

IV. SOIL RESTORATION REQUIREMENTS:

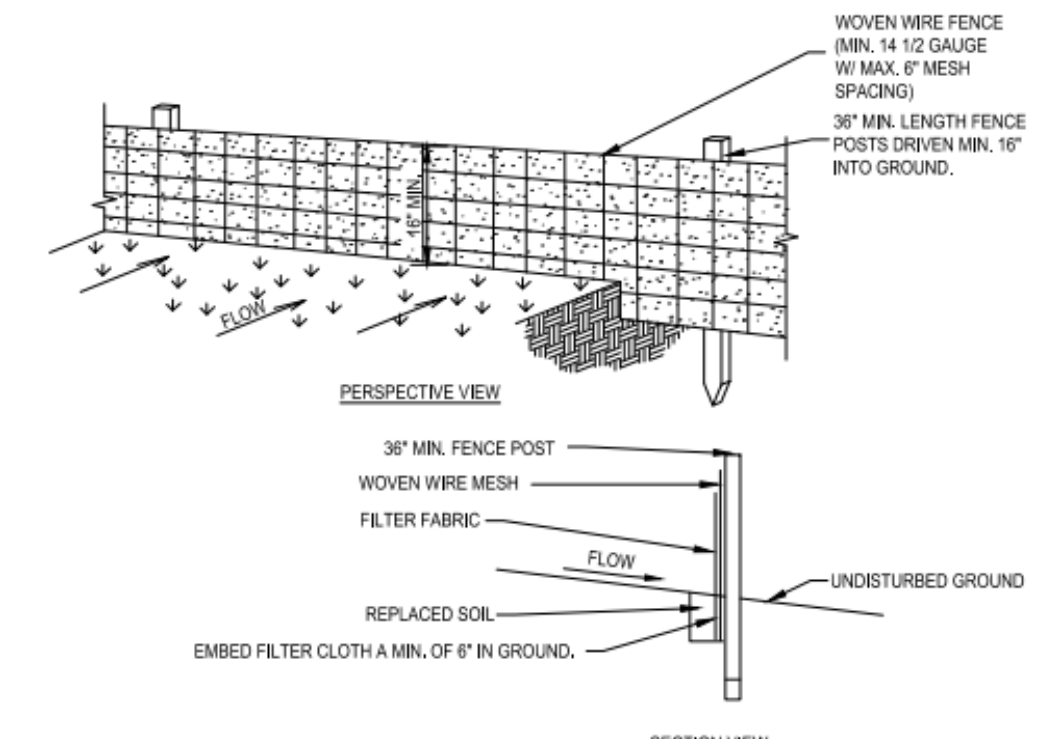
1. AERATION AND THE APPLICATION OF 6 INCHES OF TOPSOIL IS REQUIRED IN ANY PR LAWN AREA WHERE TOPSOIL HAS BEEN DISTURBED.
2. FULL SOIL RESTORATION IS REQUIRED IN HEAVY TRAFFIC AREAS ON SITE, ESPECIA BETWEEN 5 AND 25 FEET AROUND THE PROPOSED BUILDING, BUT NOT WITHIN A 5 F PERIMETER AROUND FOUNDATION WALLS. RESTORATION IS ALSO REQUIRED ON REDEVELOPMENT PROJECTS IN AREAS WHERE EXISTING IMPERVIOUS AREA WILL B CONVERTED TO PERVIOUS AREA.
3. FULL SOIL RESTORATION REQUIREMENTS ARE AS FOLLOWS: - SOIL RESTORATION IS TO TAKE PLACE DURING PERIODS OF RELATIVELY LOW MODERATE SUBSOIL MOISTURE, FOLLOWING ROUGH GRADING OF THE DISTU SUBSOILS
 - APPLY 3 INCHES OF COMPOST OVER SUBSOIL
 - TILL COMPOST INTO SUBSOIL TO A DEPTH OF AT LEAST 12 INCHES USING A CAT-MOUNTED RIPPER, TRACTOR-MOUNTED DISC, OR TILLER, MIXING, AND CIRCULATING AIR AND COMPOST INTO SUBSOILS
 - ROCK-PICK UNTIL UPLIFTED STONE/ROCK MATERIALS OF FOUR INCHES AND SIZE ARE CLEANED OFF THE SITE
 - APPLY TOPSOIL TO A DEPTH OF 6 INCHES
 - VEGETATE AS SPECIFIED ON PLANS
4. AT THE END OF THE PROJECT AN INSPECTOR SHOULD BE ABLE TO PUSH A 3/8 INCH BAR 12 INCHES INTO THE SOIL JUST WITH BODY WEIGHT.
5. TILLING SHOULD NOT BE PERFORMED WITHIN THE DRIP LINE OF ANY EXISTING TREE OVER UTILITY INSTALLATIONS THAT ARE WITHIN 24 INCHES OF THE SURFACE.
6. ADDITIONAL INFORMATION AND GUIDANCE MAY BE FOUND IN "DEEP-RIPPING AND DECOMPACTION" PUBLISHED BY NYSDEC DIVISION OF WATER 2008.

V. CONSTRUCTION SEQUENCING:

1. PRE-CONSTRUCTION MEETING
2. DELINEATE DISTURBED AREAS AND INSTALL ORANGE CONSTRUCTION FENCE FOR PROTECTED AREAS
3. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE, STAGING AREA LAYOUT, CONCRETE WASHOUT AREA
4. DISCONNECT ALL EXISTING UTILITIES FROM THE BUILDINGS
5. DEMOLISH EXISTING BUILDINGS
6. REMOVE EXISTING FOUNDATIONS AND PAVEMENT
7. CONSTRUCT UTILITIES AND DRAINAGE
8. TEMPORARILY STABILIZE ALL DISTURBED AREAS
9. CONSTRUCT THE BUILDING
10. PERFORM FINAL GRADING
12. PERFORM SOIL RESTORATION.
13. CONSTRUCT THE PARKING LOT, CURBS, AND SIDEWALK
14. PERFORM FINAL STABILIZATION.
15. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROLS ONCE 80% STABILIZATION HAS BEEN ACHIEVED.

STABILIZED CONSTRUCTION ENTRANCE:

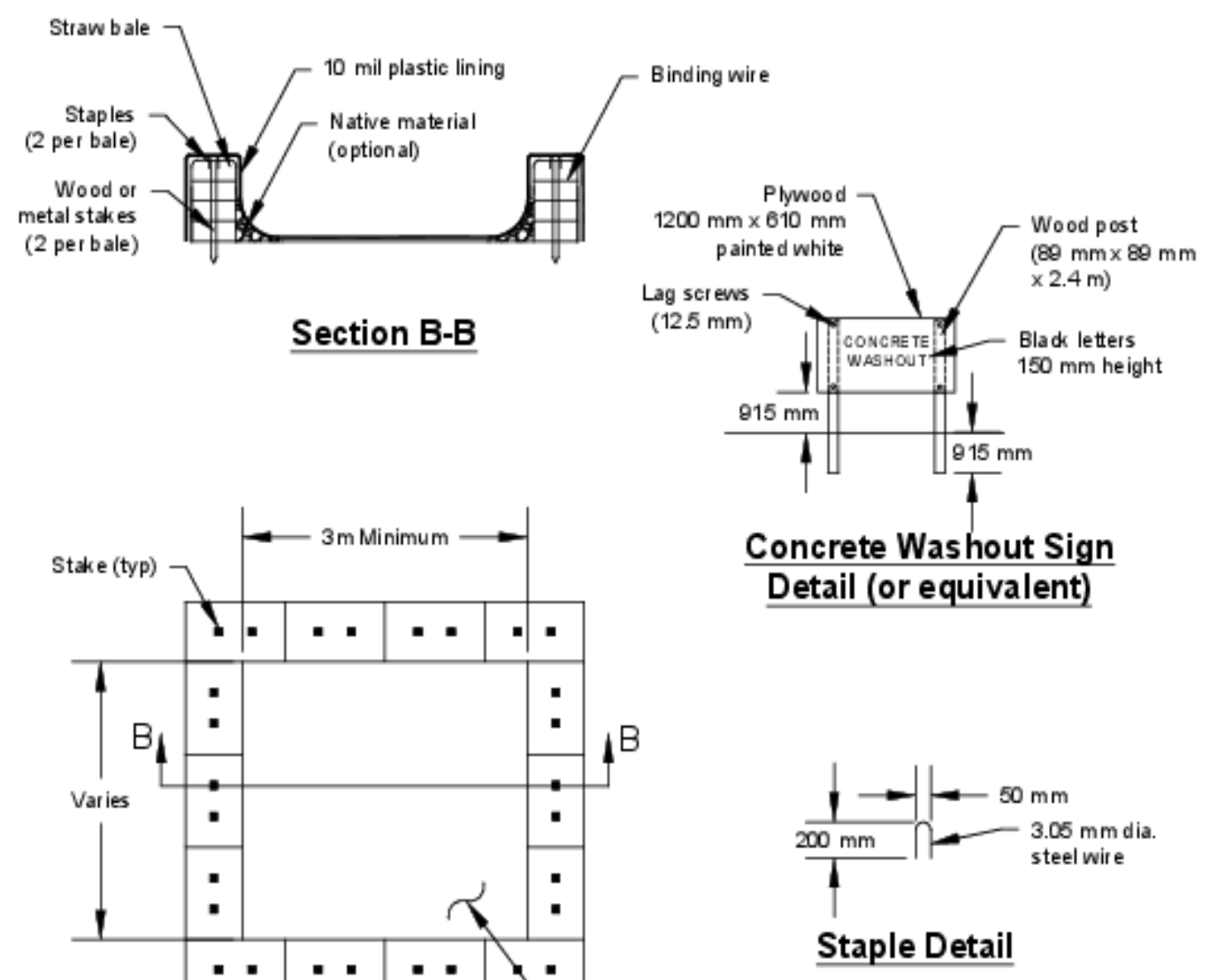
- CONSTRUCTION NOTES FOR STABILIZED CONSTRUCTION ENTRANCE
1. STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 2. LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET .
 3. THICKNESS - NOT LESS THAN 6 INCHES.
 4. WIDTH - 24 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
 5. FILTER CLOTH - WILL BE PLACED OVER ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER CLOTH WILL NOT BE REQUIRED ON A SINGLE RESIDENCE LOT
 6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIRECTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING IF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANEST OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAT MUST BE REMOVED IMMEDIATELY.
 8. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.
- (NOTE: USE ONLY THE APPLICABLE NOTES TO THE PROJECT.)



- NOTES:
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POST WITH WIRE TIES OR STAPLES. POSTS SHALL BE HARDWOOD OR STEEL OF EITHER 1" OR 1 1/2" TYPE.
 2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENINGS.
 3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFL 100X, STABILINA THIN, OR APPROVED EQUAL.
 4. PREFABRICATED UNITS SHALL BE GEOTAF, ENVIROFENCE, OR APPROVED EQUAL.
 5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN 'BULGES' DEVELOP IN THE SILT FENCE.

SILT FENCE DETAIL

Concrete Wash-Out Area



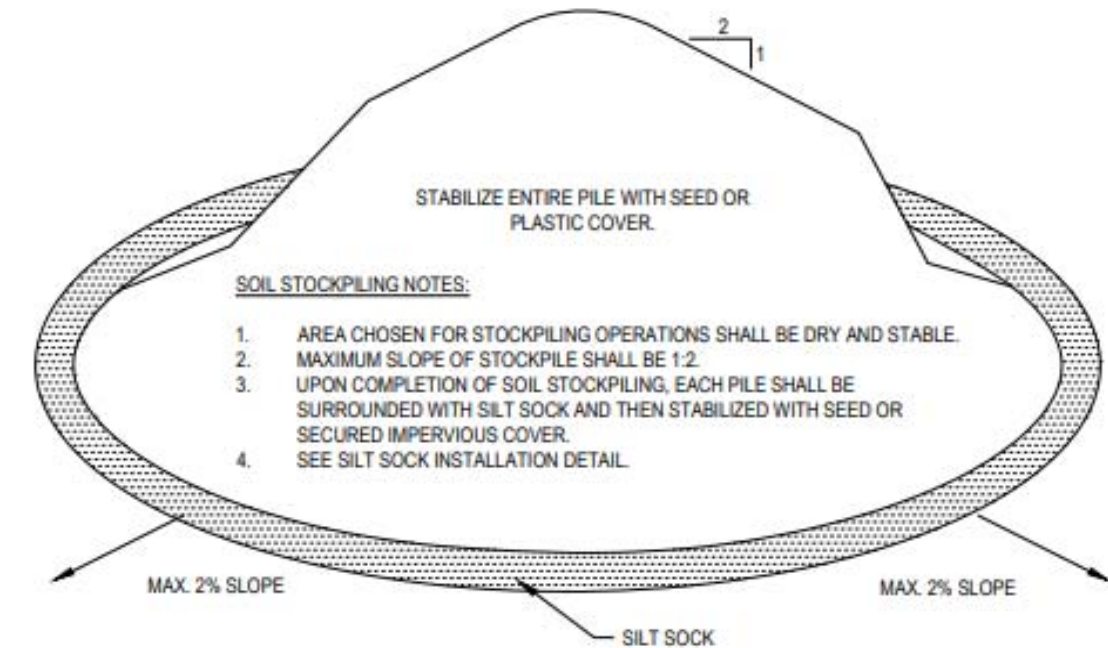
- Notes:
1. Actual layout determined in the field.
 2. The concrete washout sign shall be installed within 10 m of the temporary concrete washout facility.

Type "Above Grade" with Straw Bales

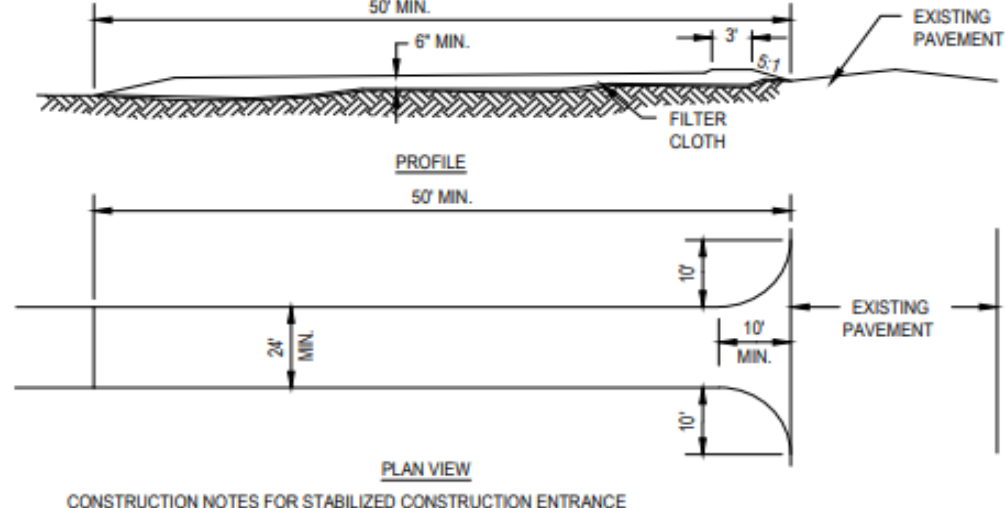
On-site Temporary Concrete Washout Facility, Transit Truck Washout Procedures:

- Temporary concrete washout facilities shall be located a minimum of 50 ft from sensitive areas including storm drain inlets. See Figure 1 in Sheet A-5. Concrete Washout Area Detail.
- Concrete washout facilities shall be constructed and maintained in sufficient quantity and size to contain all liquid and concrete waste generated by washout operations.
- Washout of concrete trucks shall be performed in those designated areas only.
- Concrete washout from concrete pumper bins can be washed into concrete pumper trucks and discharged into designated washout area or properly disposed of off-site.
- Once concrete wastes are washed into the designated area and allowed to harden, the concrete should be broken up, removed, and disposed of per applicable solid waste regulations. Dispose of hardened concrete on a regular basis.
- Temporary Above-Grade Concrete Washout Facility; See Figure 1 in Sheet A-5.
- Temporary concrete washout facility (type above grade) should be constructed as shown on the above mentioned details, with a recommended minimum length and minimum width of 10 ft, but with sufficient quantity and volume to contain all liquid and concrete waste generated by washout operations.
- Plastic lining material to be used should have a minimum of 10 mil polyethylene sheeting and should be free of holes, tears, and/or other defects that compromise the impermeability of the material.

CONCRETE WASH-OUT AREA DETAIL AND NOTES



SOIL STOCK PILE DETAIL

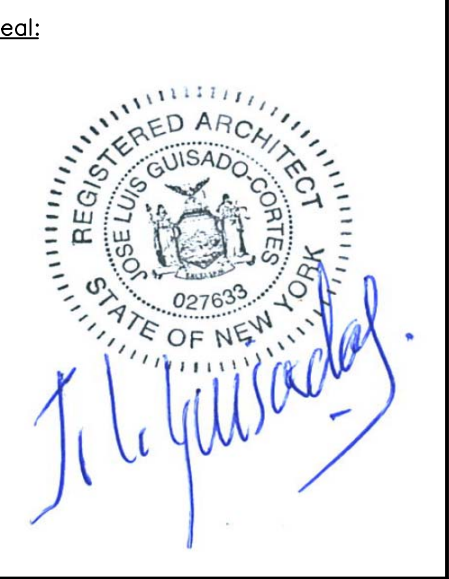


- CONSTRUCTION NOTES FOR STABILIZED CONSTRUCTION ENTRANCE
1. STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 2. LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET .
 3. THICKNESS - NOT LESS THAN 6 INCHES.
 4. WIDTH - 24 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
 5. FILTER CLOTH - WILL BE PLACED OVER ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER CLOTH WILL NOT BE REQUIRED ON A SINGLE RESIDENCE LOT
 6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIRECTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING IF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANEST OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAT MUST BE REMOVED IMMEDIATELY.
 8. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED SITE ENTRANCE



ARCHITECTURE - PLANNING - INTERIORS
310 SOUTHWORTH RD. DRYDEN, N.Y. 13603
TEL: (607) 844-3113 - CELL: (607) 745-6860



IMPORTANT NOTE:
To the Owner, General Contractor, Subcontractors, and building material Suppliers:
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Apartment Building Project
1279 N.Y. State Route 366
Town of Dryden, New York

Project No: GA-21-01-1

Revisions: Orig. Date:

XXX

Drawn By:

Checked By: JLG

Date: March 25, 2021

Drawing Title:

EROSION AND SEDIMENT CONTROL DETAILS & NOTES

Sheet No. **S-4**