

- LEGEND:**
- 5/8" REBAR WITH SURVEY CAP TO BE SET
 - EXISTING IRON ROD
 - EXISTING IRON PIPE
 - DEED AND/OR MAP LINE
 - N/F NOW OR FORMERLY
 - OVERHEAD UTILITY LINE
 - UTILITY POLE
 - (215' D) DEED DISTANCE
 - ⊙ PARCEL NUMBER PER TITLE COMMITMENT
 - MANHOLE
 - ⊙ CATCH BASIN
 - ⊕ WATER OR GAS VALVE
 - UTILITY POLE
 - UTILITY POLE W/STREET LIGHT
 - UTILITY POLE ANCHOR
 - FIRE HYDRANT
 - STREET SIGN
 - BOLLARD
 - DEODIOUS TREE
 - BURIED CABLE MARKER
 - DELINEATOR
 - △ SURVEY CONTROL POINT
 - SAN SANITARY SEWER
 - ST STORM SEWER
 - G GAS PIPELINE
 - W WATER PIPELINE
 - TEL BURIED TELEPHONE CABLE
 - E BURIED ELECTRIC CABLE
 - O/H OVERHEAD UTILITY LINES

TAXMAP PARCELS:
 56-5-9.11,12,19,3,19.4
 56-3-9&12

HORIZONTAL/VERTICAL DATUM NOTE:
 VERTICAL CONTROL IS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88/GEOD 12A).
 HORIZONTAL CONTROL IS REFERENCED TO THE NORTH AMERICAN DATUM OF 1983 (NAD 83/NA 2011).

UTILITY NOTE:
 Note - With regard to Table A, Item 11, source information from plans and markings will be combined with observed evidence of utilities to develop a view of those underground utilities; however, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted, where additional or more detailed information is required, the client is advised that excavation may be necessary.

FLOOD ZONE:
 ZONE C (AREAS OUTSIDE 500 YEAR FLOOD)
 PER PANEL #30848R
 EFFECTIVE: 5/15/1985

WETLANDS:
 THERE WERE NO MARKERS DELINEATING WETLANDS OBSERVED WHILE CONDUCTING THE FIELDWORK.

ZONING INFORMATION:
 ZONED: VHMUD, VHRD, VHTD
 FRONT YARD = 10' MIN.
 REAR YARD = 25' MIN.
 SIDE YARD = NONE OR 7.5' IF BUILDINGS ARE NOT ATTACHED MIN.

TITLE EXCEPTIONS IDENTIFIED IN SCHEDULE B OF THE ALTA COMMITMENT FOR TITLE INSURANCE:

1. NOT A SURVEY ITEM
2. PLOTTED ON MAP
3. COULD NOT PLACE
4. COULD NOT PLACE
5. COULD NOT PLACE
6. PLOTTED ON MAP
7. PLOTTED ON MAP
8. PLOTTED ON MAP
9. NOT A SURVEY ITEM
10. NOT A SURVEY ITEM
11. NOT A SURVEY ITEM
12. PLOTTED ON MAP
13. PLOTTED ON MAP
14. PLOTTED ON MAP
15. PLOTTED ON MAP
16. PLOTTED ON MAP
17. PLOTTED ON MAP
18. PLOTTED ON MAP
19. PLOTTED ON MAP

TITLE SEARCH:
 AN ABSTRACT OF TITLE WAS NOT PROVIDED FOR THIS SURVEY. THIS MAP IS SUBJECT TO ANY AND ALL RIGHTS OF WAYS, EASEMENTS OR ANY OTHER ENCUMBRANCES THAT AN UPDATED ABSTRACT OF TITLE MAY REVEAL.

PARCEL ADDRESSES:
 56-3-9 (I)-966 DRYDEN ROAD
 56-3-12 (II)-952 DRYDEN ROAD
 56-5-9 (III)-949&951 DRYDEN ROAD
 56-5-11 (IV)-957 DRYDEN ROAD
 56-5-12 (V)-959A&959B DRYDEN ROAD
 56-5-19.4 (VI)-MOUNT PLEASANT ROAD
 56-5-19.3 (VII)-MOUNT PLEASANT ROAD

DEED REFERENCES:

56-5-9
 JAMES J. JANKO TO VARNIA II, LLC BY WARRANTY DEED RECORDED IN THE TOMPKINS COUNTY CLERK'S OFFICE ON DECEMBER 21, 2009 AS INSTRUMENT #552412-001.

56-5-11&12
 JOHN T. MARCHETTI & STEPHEN P. LUCENTE BY WARRANTY DEED RECORDED IN THE TOMPKINS COUNTY CLERK'S OFFICE ON MARCH 12, 2002 IN LIBER CD2504 OF DEEDS AT PAGE 5767.

56-5-19.3
 STEPHEN P. LUCENTE TO VARNIA II, LLC BY WARRANTY DEED RECORDED IN THE TOMPKINS COUNTY CLERK'S OFFICE ON APRIL 30, 2007 AS INSTRUMENT #507857-001.

56-5-19.4
 STEPHEN P. LUCENTE AND PATRICIA W. LUCENTE TO STEPHEN P. LUCENTE BY WARRANTY DEED RECORDED IN THE TOMPKINS COUNTY CLERK'S OFFICE ON FEBRUARY 17, 2006 AS INSTRUMENT #486403-001.

56-3-9
 ALBERT PERKINS TO STEPHEN P. LUCENTE BY WARRANTY DEED RECORDED IN THE TOMPKINS COUNTY CLERK'S OFFICE ON OCTOBER 21, 1999 IN LIBER 861 OF DEEDS AT PAGE 153.

56-3-12
 MARLO DODGE TO STEPHEN P. LUCENTE BY WARRANTY DEED RECORDED IN THE TOMPKINS COUNTY CLERK'S OFFICE ON APRIL 20, 2001 IN LIBER 901 OF DEEDS AT PAGE 216.

MAP REFERENCES:

"SURVEY FOR IVAN W. CLARK," PREPARED BY GEORGE SCHLECHT, DATED NOVEMBER 11, 1983 AND IDENTIFIED AS JOB NO. 83-298.

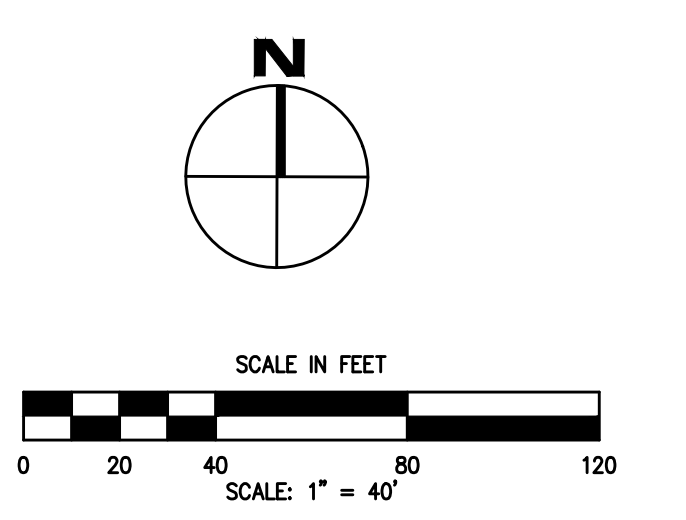
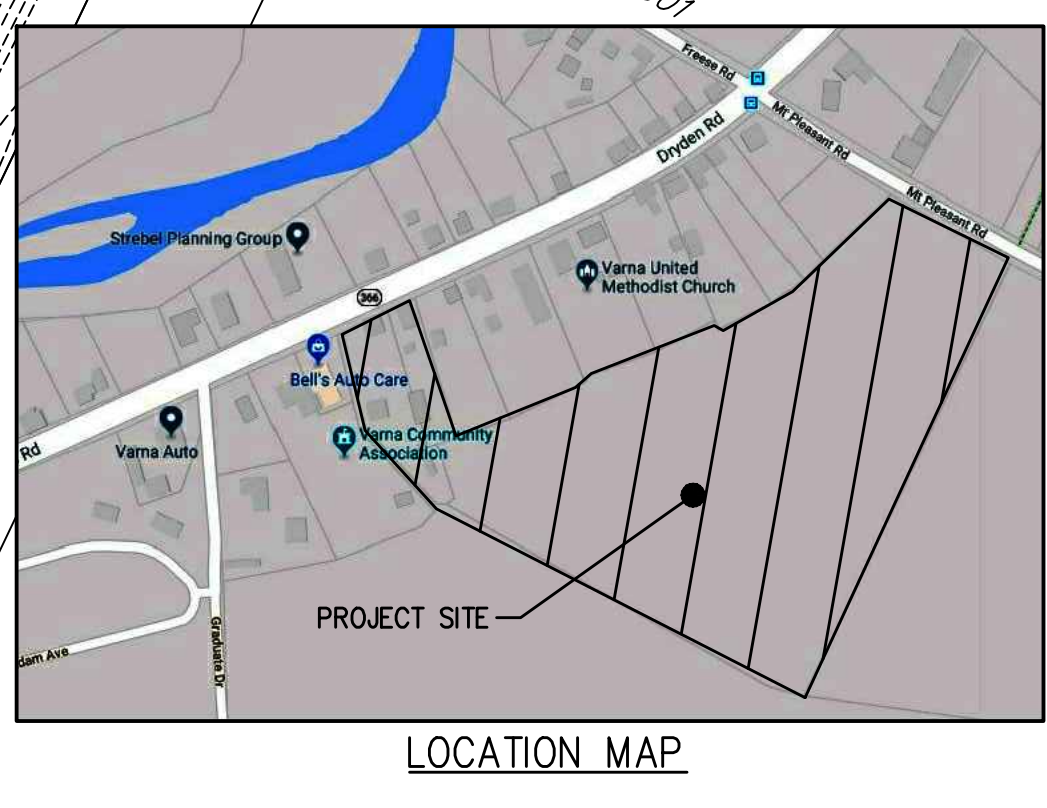
"LOCATION IN HAMLET OF VARNIA," PREPARED BY T.G. MILLER PC ENGINEERS AND SURVEYORS, DATED AUGUST 5, 1993 AND RECORDED IN LIBER 707 OF DEEDS AT PAGE 147.

"952 DRYDEN ROAD," PREPARED BY L. FABBRONI, DATED SEPTEMBER 2, 2008.

"949-951 DRYDEN ROAD," PREPARED BY L. FABBRONI, DATED AUGUST 27, 2009.

"959A-B & 957 DRYDEN ROAD," PREPARED BY L. FABBRONI, DATED SEPTEMBER 3, 2008.

"T.P. 56-5-19.4 MOUNT PLEASANT ROAD," PREPARED BY L. FABBRONI, DATED FEBRUARY 10, 2006.



HUNT ENGINEERS | ARCHITECTS | SURVEYORS
 100 Hunt Center, Hornbush, New York 14845 P: 607-588-1000 F: 607-588-1800 Office: Rochester Hornbush | Townsends

EXISTING CONDITIONS PLAN
TOWNHOMES AT DRYDEN
TRINITAS VENTURES
 366 DRYDEN ROAD, ITHACA, NY 14850 TOWN OF VARNIA, TOMPKINS COUNTY, NY

L.O.O.
 PROJECT NO: 3177.001

DRAWN BY:	AAH
CHECKED BY:	MBK
DATE:	06/01/2018
SCALE:	AS SHOWN

DESCRIPTION OF REVISION:
 1. 07/25/18 FOR SUBMISSION
 2. 08/01/18 REVISED LAYOUT FOR BOARD SUBMISSION