

# SITE DEVELOPMENT PLANS FOR **MAIFLY DEVELOPMENT** **5 & 9 FREESE ROAD**

SITUATED IN:  
**TOWN OF DRYDEN - TOMPKINS COUNTY - NEW YORK**

**PROJECT CONTACTS:**

**APPLICANT:**  
MATT DURBIN  
MAIFLY DEVELOPMENT  
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61 EAST MAIN STREET  
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(607) 844-5188

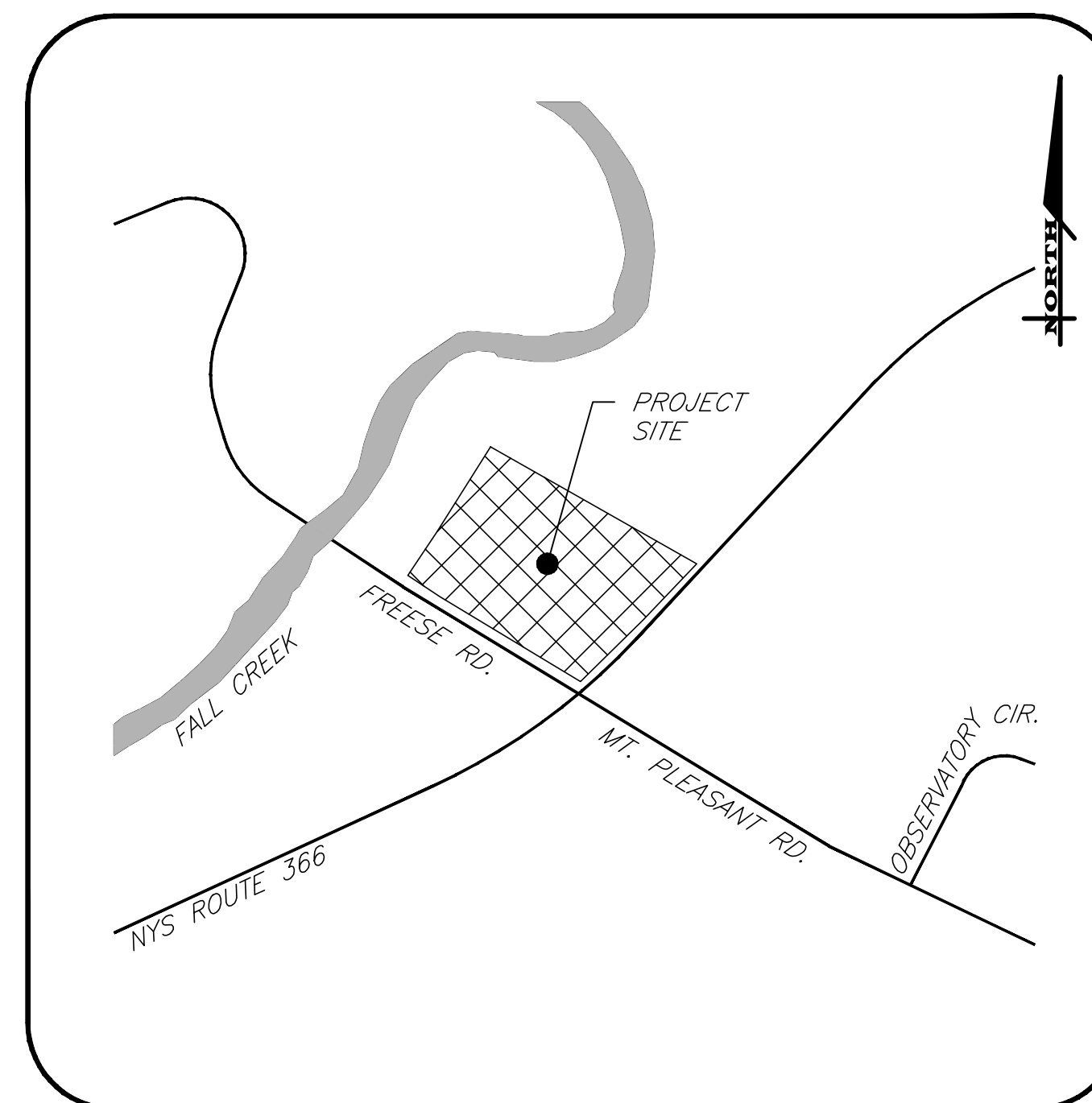
**ELECTRIC:**  
NEW YORK STATE ELECTRIC & GAS  
18 LINK DRIVE  
BINGHAMTON, NY 13904  
(607) 343-5283

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**CIVIL ENGINEER:**  
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(607) 277-0660

**GAS:**  
NEW YORK STATE ELECTRIC & GAS  
18 LINK DRIVE  
BINGHAMTON, NY 13904  
(607) 343-5283



LOCATION MAP  
N.T.S.



39 CASCADE DRIVE  
ROCHESTER, NY 14614  
585-458-7770  
ITHACA LOCATION  
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ITHACA, NY 14850  
607-241-2917  
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**DESIGNER CONTACT STATEMENT:**  
MARATHON ENGINEERING IS RESPONSIBLE FOR THE DESIGN OF THIS PROJECT.  
ADAM M. FISHEL, PE, CPESC IS THE DESIGNER AND IS FAMILIAR WITH THE  
NYS DOT STANDARDS AND REQUIREMENTS AND SHALL BE CONTACTED AT  
(607) 241-2917 TO RESOLVE ISSUES OR PROBLEMS DURING CONSTRUCTION.  
ALL REVISIONS, INCLUDING REVISIONS NECESSARY DUE TO FIELD CONDITIONS,  
SHALL BE APPROVED BY THE NYS DOT.

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**LEGEND:**

EXISTING	PROPOSED	DESCRIPTION
SON	Ω	SIGN
⊕	□	LIGHT POLE
⊖	⊖	POWER POLE
—	—	GAS MAIN & VALVE
—	—	ELECTRIC CONDUIT & STRUCTURE
—	—	TELEPHONE CONDUIT & STRUCTURE
—	—	CENTERLINE AND STATIONING
—	—	RIGHT-OF-WAY OR PROPERTY LINE
—	—	CURB
—	—	FENCE (DESCRIPTION)
—	—	SANITARY SEWER WITH MANHOLE
—	—	STORM SEWER, MANHOLE & FIELD/DROP INLET
—	—	WATER MAIN WITH HYDRANT & GATE VALVE
—	—	CENTERLINE OF SWALE
—	—	CONTOUR
—	—	DRAINAGE FLOW ARROW
—	—	SPOT ELEVATION
—	—	TREE LINE
—	—	TREE PROTECTION
—	—	PARKING SPACE COUNT

**ABBREVIATIONS**

ABBR.	TERM	ABBR.	TERM
AC	ACRE	LS	LUMP SUM
A.O.B.E.	AS ORDERED BY ENGINEER	LT	LEFT
ASPH.	ASPHALT	MB	MAILBOX
AZ	AZIMUTH	MO	MOBILE COORDINATE
B	BASELINE	MON.	MONUMENT OR MONTH
BM	BENCHMARK	MCCS	MONROE COUNTY GEODETIC SURVEY
C	CENTERLINE	M.H.	MANHOLE
CLF	CHAIN LINKED FENCE	NEC.	NECESSARY
CLD	CHAIN LINKED DRIVE	NOI-OR-CONTRACT	NOT TO SCALE
CONC.	CONCRETE	NIS	NOT TO SCALE
CPP	CORRUGATED POLYETHYLENE PIPE	N/F	NOW OR FORMERLY
CSP	CORRUGATED STEEL PIPE	PAVT.	PAVEMENT
COV.	COVER	PE	POLYETHYLENE PIPE
CB	CURB BOX	PIPE	PERFORATED POLYETHYLENE PIPE
CY	CUBIC YARD	PC	POINT OF CURVATURE
D	DEGREE OF CURVE	PI	POINT OF INTERSECTION
DIA.	DIAMETER	PT	POINT OF TANGENCY
DI	DROP INLET	PVC	POINT OF VERTICAL CURVATURE
D.I.P.	DITCH/LE IRON PIPE	PIV	POINT OF VERTICAL INTERSECTION
EA	EACH	PVT	POINT OF VERTICAL TANGENCY
ENG.	ENGINEER IN CHARGE	PP	POWER POLE
ELEV.	ELEVATION	P	PROPERTY LINE
EP	EDGE OF PAVEMENT	R	RADIUS
FF	FINISH FLOOR = FINISH FLOOR ELEVATION	RCP	REINFORCED CONCRETE PIPE
FI	FIELD INLET	RG&E	ROCHESTER GAS AND ELECTRIC
FR	FRAME	R.O.W.	RIGHT-OF-WAY
FP	FINISH PAD = GARAGE FLOOR ELEVATION	RT	RIGHT
FT.	FEET	RTC	ROCHESTER TELEPHONE COMPANY
G	GAS MAIN	S.A.	SANITARY SEWER
GAL	GALLON	ST.	STORM SEWER
GR	GRAVEL	STA.	STATION
G.R.	GUIDE RAIL	SY	SQUARE YARD
HCL	HORIZONTAL CONTROL LINE	T	TANGENT DISTANCE
HYD.	HYDRANT	TGL	THEORETICAL GRADE LINE
INV.	INVERT	TYP.	TYPICAL
IP	IRON PIPE OR IRON PIN	VC	VERTICAL CURVE
L	LENGTH OR LENGTH OF CURVE	VTP	VERTIFIED TILE PIPE
LF	LINEAR FEET	VA	CENTRAL ANGLE
LP	LIGHT POST (PRIVATE)		

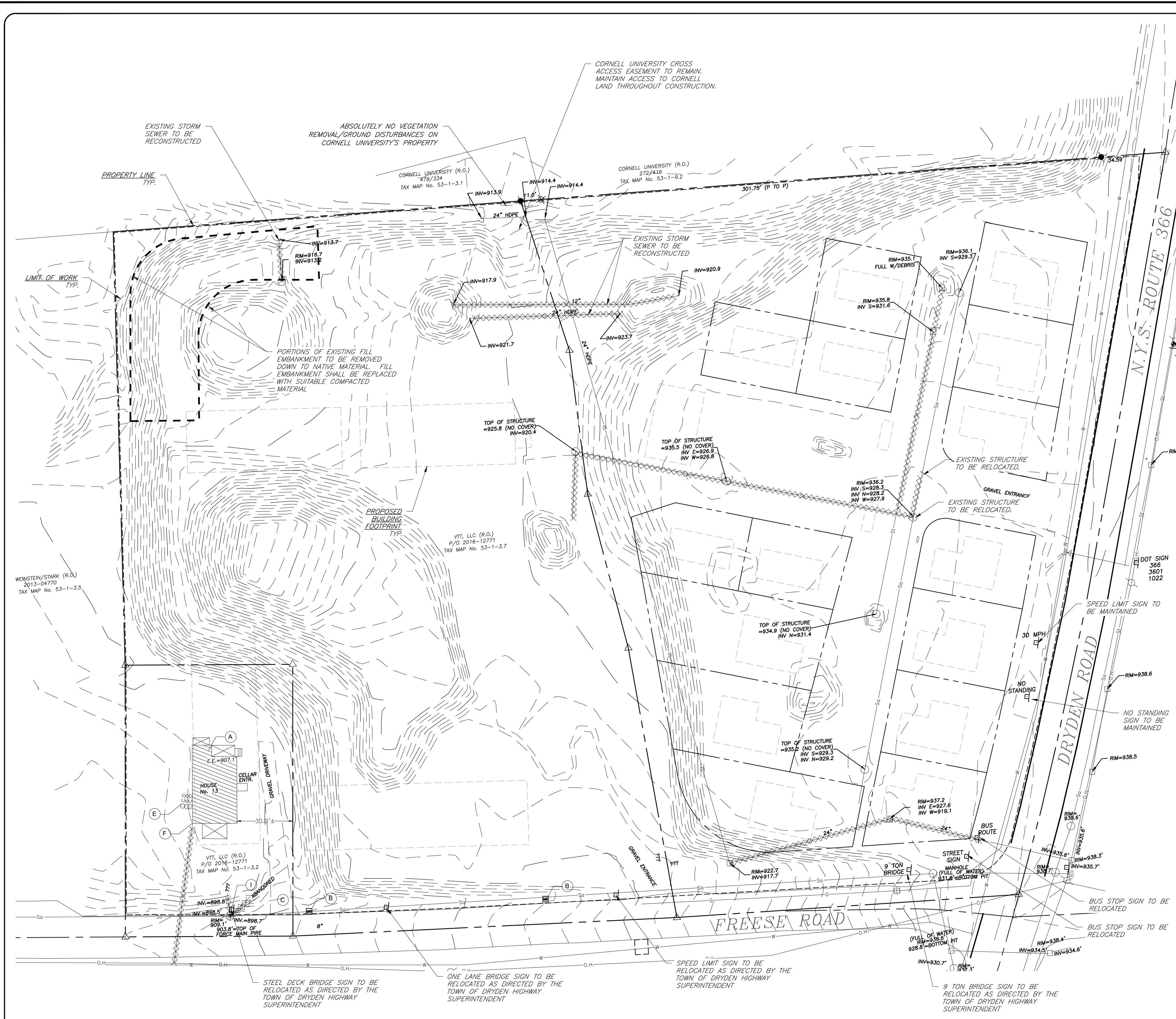
**LIST OF DRAWINGS**

DWG	TITLE
----	COVER SHEET
----	BOUNDARY & TOPOGRAPHIC MAP
C1.0	DEMOLITION PLAN
C2.0	OVERALL SITE PLAN
C2.1	SITE PLAN
C2.2	RECREATION AREA ENLARGEMENTS PLAN
C3.0	GRADING, DRAINAGE AND EROSION CONTROL PLAN (1 OF 2)
C3.1	GRADING, DRAINAGE AND EROSION CONTROL PLAN (2 OF 2)
C4.0	UTILITY PLAN (1 OF 2)
C4.1	UTILITY PLAN (2 OF 2)
C5.0	LIGHTING AND LANDSCAPING PLAN
C6.0	DETAIL SHEET (1 OF 5)
C6.1	DETAIL SHEET (2 OF 5)
C6.2	DETAIL SHEET (3 OF 5)
C6.3	DETAIL SHEET (4 OF 5)
C6.4	DETAIL SHEET (5 OF 5)
C7.0	TRUCK TURN PLAN
C8.0	HIGHWAY IMPROVEMENT PLAN (1 OF 2)
C8.1	HIGHWAY IMPROVEMENT PLAN (2 OF 2)
C8.2	HIGHWAY IMPROVEMENT PLAN (2 OF 3)

OWNER/ APPLICANT:

MAIFLY DEVELOPMENT  
2400 OXFORD DRIVE  
PITTSBURGH, PA 15210

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**DEMOLITION NOTES**

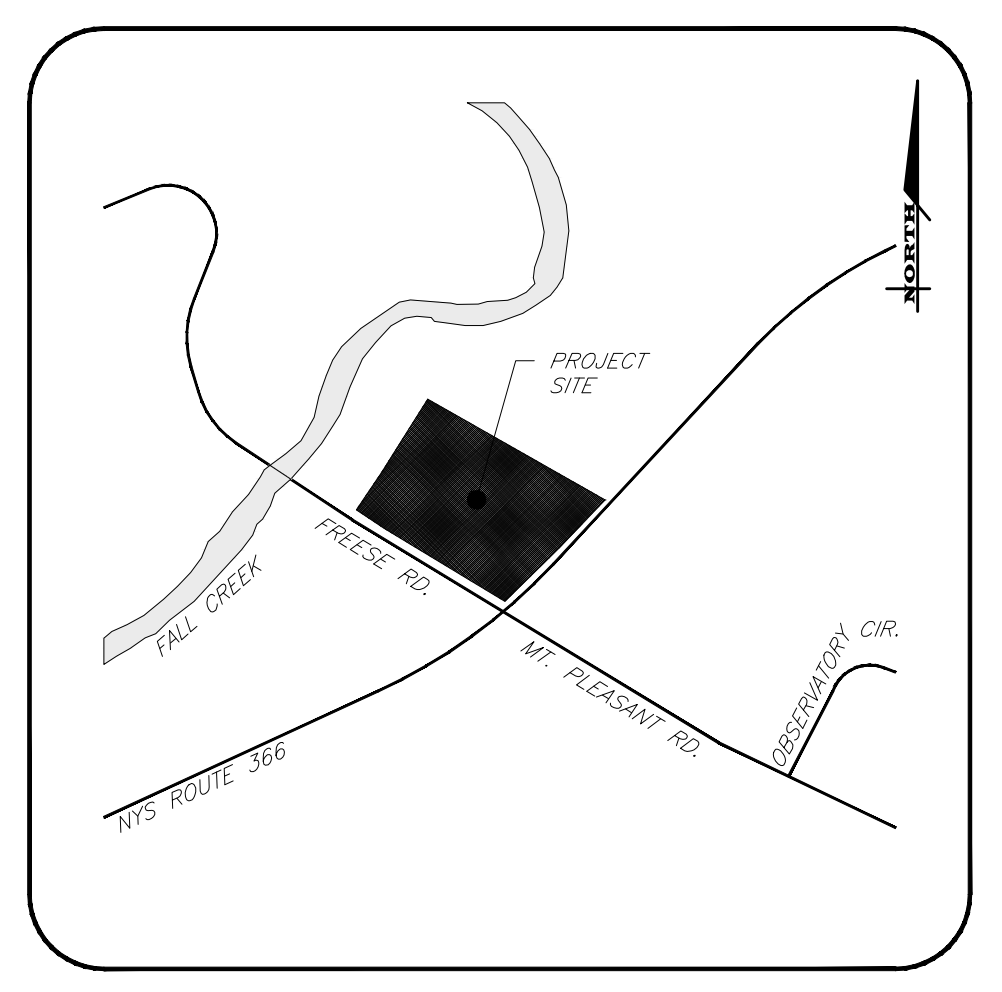
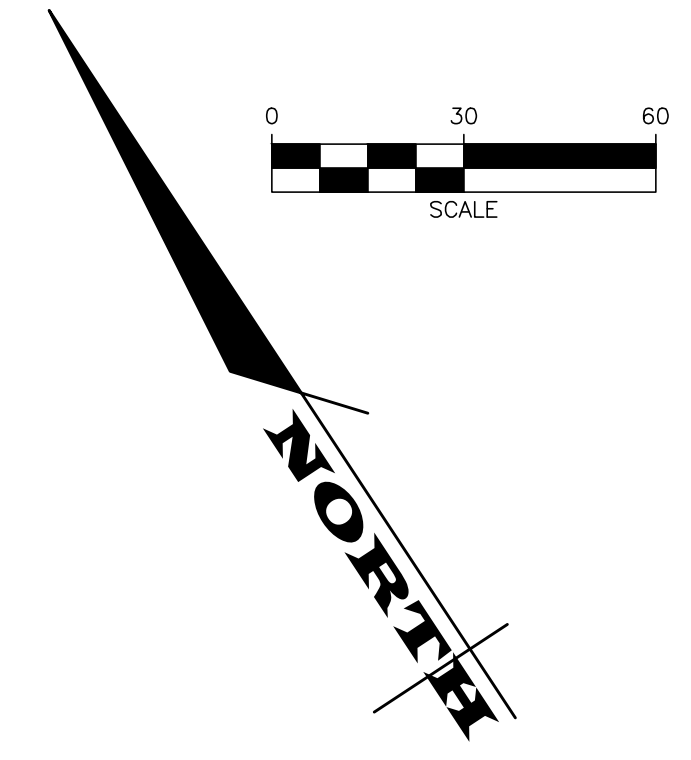
- THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) OF ALL STRUCTURES, PADS, WALLS, FILMES, FOUNDATIONS, PARKING DRIVES, PIPES, STRUCTURES, UTILITIES, ETC. SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO A SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL PER THE FOLLOWING RECOMMENDATIONS:
  - AREAS WITHIN NEW BUILDING FOOTPRINT (INCLUDING SIDEWALKS): IMPORTED STRUCTURAL FILL (NYS DOT 204.14) SHALL BE USED TO BACKFILL THESE AREAS PLACED IN LOOSE LIFTS NOT EXCEEDING 12" AND COMPACTED TO THE MAXIMUM DRY DENSITIES NOTED IN THE EARTHWORK NOTES.
  - AREAS OUTSIDE NEW BUILDING FOOTPRINT: THESE AREAS MAY BE BACKFILLED WITH SUITABLE ON-SITE MATERIAL PLACED IN LOOSE LIFTS NOT EXCEEDING 12" AND COMPACTED TO THE MAXIMUM DRY DENSITIES NOTED IN THE EARTHWORK NOTES. IN LIEU OF USING SUITABLE ON-SITE MATERIAL, IN AREAS OUTSIDE THE BUILDING FOOTPRINT AS FILL, NYS DOT ITEM 203.07 (SELECT GRANULAR) FILL MAY BE USED.
- THE USE OF ALTERNATE BACKFILL/FILL MATERIALS SHALL BE EVALUATED ON A CASE-BY-CASE BASIS BY THE PROJECT'S GEOTECHNICAL ENGINEER PRIOR TO USE.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING OF IT IN A LEGAL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
- THE CONTRACTOR SHALL MAINTAIN ALL UTILITY SERVICES TO ANY EXISTING BUILDING/FACILITY TO REMAIN AT ALL TIMES.
- THE CONTRACTOR SHALL COORDINATE WITH THE RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND RELOCATION OF ANY UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR SUCH SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
- THIS PLAN DOES NOT SHOW ALL ITEMS TO BE DEMOLISHED, ABANDONED AND/OR REMOVED. EXISTING STRUCTURES WITHIN THE CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED, OR RELOCATED AS NECESSARY, UNLESS SPECIFIED OTHERWISE. ALL COSTS SHALL BE INCLUDED IN BASE BID.
- THE CONTRACTOR ACCEPTS ALL RESPONSIBILITY OF SALVAGED MATERIALS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISCONNECTION OF UTILITY SERVICES TO THE EXISTING BUILDING PRIOR TO DEMOLITION.
- ALL UTILITIES WITHIN PROPOSED BUILDING FOOTPRINTS (INCLUDING 5 FEET BEYOND THE PERIMETER) SHALL BE REMOVED AND THE EXCAVATION AREA SHALL BE BACKFILLED AND COMPACTED PER THE CONSTRUCTION DOCUMENTS.
- THE CONTRACTOR SHALL FILL ALL ABANDONED UTILITY PIPES AND STRUCTURES WITH CONTROL DENSITY FILL. ALL ABANDONED PIPES AND STRUCTURES WITHIN 2' OF PROPOSED FINISHED GRADE SHALL BE REMOVED UNLESS SPECIFIED OTHERWISE. AT MANHOLES AND STRUCTURES TO REMAIN, ABANDONED PIPES SHALL BE CUT AND PLUGGED AND THE REMAINING OPENING IN THE MANHOLE/STRUCTURE SHALL BE FILLED SO TO MATCH THE REMAINING STRUCTURE/MANHOLE. THE CONTRACTOR HAS THE OPTION TO REMOVE THOSE UTILITIES TO BE ABANDONED AT NO ADDITIONAL COST TO THE OWNER.
- REMOVAL OR ABANDONMENT OF UTILITIES, DRIVEWAYS, STRUCTURES, ETC. SHALL ONLY BE PERFORMED AFTER CRITICAL NEW OR TEMPORARY INFRASTRUCTURE IS IN PLACE AND OPERATIONAL (I.E. UTILITIES, DRAINAGE, PAVING, ACCESSIBLE PARKING, ETC.). THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING PROPER AND SAFE SEQUENCING.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO ALL UTILITIES, STORM DRAINAGE, SIGNS, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH THE GOVERNING AUTHORITY'S SPECIFICATIONS AND SHALL BE APPROVED BY THE AUTHORITY PRIOR TO THE START OF WORK. COSTS FOR SUCH RELOCATIONS SHALL BE INCLUDED IN THE BASE BID.
- THE CONTRACTOR SHALL VERIFY OVERHEAD UTILITY ELEVATIONS TO AVOID CONFLICTS.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC, AND/OR GAS LINES NEEDING RELOCATION OR REMOVAL. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY IN AN EFFORT TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY SERVICES INCLUDING BUT NOT LIMITED TO: GAS, ELECTRIC, TELEPHONE, STORM DRAINAGE, SANITARY SEWAGE, COMMUNICATIONS, HEAT, ETC. THROUGHOUT ALL PHASES OF CONSTRUCTION. COSTS FOR SUCH TEMPORARY SERVICES SHALL BE INCLUDED IN THE BASE BID.
- THE CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC. AS REQUIRED BY THE OWNER, TOWN OF DRYDEN AND/OR THE ENGINEER.
- THE CONTRACTOR SHALL MAINTAIN ACCESS TO THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF EXISTING FACILITIES AND CONSTRUCTION OF NEW SITE/BUILDING IMPROVEMENTS.
- NO WORK SHALL COMMENCE UNTIL ALL INITIAL EROSION AND SEDIMENTATION CONTROL PRACTICES ARE IN PLACE.
- CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS AND/OR REPLACEMENT OF FACILITIES/STRUCTURES, ETC. WHICH MAY BE DAMAGED DUE TO DEMOLITION OR CONSTRUCTION ACTIVITIES.
- EXISTING PAVEMENT AND CONCRETE SHALL BE SAW-CUT AT THE LIMITS OF WORK PRIOR TO REMOVAL.
- THE CONTRACTOR SHALL LIMIT SAW-CUT ACTIVITIES TO ONLY THOSE AREAS WHERE IT IS REQUIRED OR AS SHOWN ON THE PLANS. IF SURROUNDING PAVEMENT/CONCRETE IS DAMAGED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND/OR REPAIR.
- DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- ALL SIGNS, STRIPING AND OTHER FEATURES THAT WERE IMPACTED OR DISTURBED SHALL BE RESTORED.
- THE CONTRACTOR SHALL REFER TO THE LANDSCAPING PLAN FOR INFORMATION PERTAINING TO THE EXISTING TREES TO REMAIN DURING CONSTRUCTION.
- TREES TO REMAIN SHALL BE PROTECTED PER DETAIL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH TREE PROTECTION. IF TREES INDICATED TO REMAIN ARE DAMAGED OR REMOVED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH REPLACEMENT OF THE TREE(S) AT THE OWNER'S AND/OR TOWN OF DRYDEN'S DISCRETION.
- NO WORK OR EQUIPMENT IS ALLOWED ON THE ADJACENT PROPERTIES WITHOUT WRITTEN CONSENT OF PROPERTY OWNER(S), EXCEPT AS SHOWN.
- THE CONTRACTOR SHALL PROTECT ALL PROJECT BENCHMARKS, PROPERTY CORNERS, AND SURVEY MONUMENTS/MARKERS THROUGHOUT CONSTRUCTION.
- THE CONTRACTOR SHALL REMOVE AND RETURN ALL WATER METERS TO THE TOWN OF DRYDEN WATER AUTHORITY.
- THE PRESENCE OR ABSENCE OF EXISTING ON-SITE SEPTIC SYSTEMS IS UNKNOWN. IF ENCOUNTERED, THE CONTRACTOR SHALL DISPOSE OF SYSTEM COMPONENTS AND ANY REMAINING SANITARY SEWAGE IN A LEGAL MANNER.
- THE PRESENCE OR ABSENCE OF EXISTING WELLS IS UNKNOWN. IF ENCOUNTERED, ALL EXISTING WELLS LOCATED WITHIN THE SITE DEVELOPMENT AREA SHALL BE REMOVED AND ABANDONED IN ACCORDANCE WITH NYS DOH REQUIREMENTS, WHICH INCLUDES: COMPLETE WELL CASING REMOVAL AND BACKFILLING WELL HOLE WITH NEAT CEMENT GROUT. DEPTH, TYPE, ETC. OF EXISTING WELLS UNKNOWN. CONTRACTOR TO CONFIRM CONDITION OF WELLS TO BE ABANDONED AND ABANDONMENT PROCEDURES PRIOR TO THE START OF WORK.
- THE LOCATION OF EXISTING WATER SERVICE(S) IS UNKNOWN. THE CONTRACTOR SHALL LOCATE THE SERVICES NEEDING REMOVAL/DECOMMISSIONING PRIOR TO THE START OF WORK. THOSE WATER SERVICES TO BE DECOMMISSIONED SHALL BE DECOMMISSIONED AT THE SERVICE TAP. EXISTING CORPORATION TAP REMOVED AND PLUGGED. CONTRACTOR SHALL COORDINATE WORK SCOPE AND SCHEDULE WITH BOLTON POINT. LIMIT AND LOCATION OF EXCAVATION ASSOCIATED WITH THE SERVICE TAP REMOVAL SHALL BE COORDINATED BY THE CONTRACTOR.

**DEMOLITION KEYNOTES**

- |   |   |
|---|---|
| <p><b>A</b> BUILDING &amp; ASSOCIATED PATIO, DECK, STEPS, STOOPS, WALKS, CURBS, RETAINING WALLS, ETC. TO BE REMOVED</p> <p><b>B</b> MAILBOX TO BE RELOCATED.</p> <p><b>C</b> GRAVEL DRIVEWAY TO BE REMOVED</p> <p><b>D</b> MISCELLANEOUS ITEM TO BE REMOVED</p> <p><b>E</b> UTILITIES TO BE REMOVED. COORDINATE SERVICE DISCONNECTION/REMOVAL AND ASSOCIATED METER REMOVAL WITH RESPECTIVE UTILITY COMPANY.</p> | <p><b>F</b> EXISTING OVERHEAD UTILITY AND ASSOCIATED POLES, GUY ANCHORS, ETC. TO BE RELOCATED. CONTRACTOR TO COORDINATE WORK SCOPE AND SCHEDULE WITH UTILITY COMPANY(IES)</p> <p><b>G</b> EXISTING WATER SERVICE TO BE DECOMMISSIONED AT THE SERVICE TAP. EXISTING CORPORATION TAP TO BE REMOVED AND PLUGGED. CONTRACTOR TO COORDINATE WORK SCOPE AND SCHEDULE WITH UTILITY COMPANY. PORTION OF WATER SERVICE REMAINING UNDER ELMIRA ROAD IS TO BE ABANDONED.</p> <p><b>H</b> EXISTING GAS SERVICE TO BE CUT, CAPPED AND ABANDONED AT THE GAS MAIN. CONTRACTOR TO COORDINATE WORK SCOPE AND SCHEDULE WITH UTILITY COMPANY. SECTION UNDER DRYDEN ROAD TO BE ABANDONED.</p> <p><b>I</b> CONTRACTOR TO LOCATE AND REMOVE EXISTING SANITARY LATERAL ENTERING THE EXISTING MANHOLE AND REPAIR/PLUG STRUCTURE ENTRANCE PER TOWN OF DRYDEN REQUIREMENTS. EXISTING LATERAL INVERT UNKNOWN. THE EXISTING BENCH SHALL BE REMOVED IN ITS ENTIRETY AND NEW BENCH INSTALLED.</p> |
|---|---|

**HAZARDOUS BUILDING MATERIALS SURVEY**

- TO DATE OF THIS PLAN, A HAZARDOUS BUILDING MATERIALS SURVEY HAS NOT BEEN PERFORMED. PRIOR TO STRUCTURE DEMOLITION THE CONTRACTOR SHALL PERFORM SUCH A SURVEY TO THE SATISFACTION OF THE NYS DEPARTMENT OF LABOR AND THE TOWN OF DRYDEN BUILDING DEPARTMENT TO DETERMINE THE PRESENCE OR ABSENCE OF EXISTING BUILDING MATERIALS WHICH MAY REQUIRE SPECIAL HANDLING, REMOVAL, CONTAINMENT, REMEDIATION, DISPOSAL, ETC.
- IF SUCH MATERIALS ARE IDENTIFIED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTRACTING WITH APPROPRIATE CONTRACTORS SPECIFICALLY LICENSED AND CERTIFIED TO PERFORM SUCH WORK.
- UPON COMPLETION OF STRUCTURE DEMOLITION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CERTIFYING TO THE OWNER AND THEIR REPRESENTATIVES THAT ALL IDENTIFIED HAZARDOUS BUILDING MATERIALS HAVE BEEN APPROPRIATELY IDENTIFIED, CONTAINED AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS, INCLUDING THE NYS DEPARTMENT OF LABOR AND THE TOWN OF DRYDEN.



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**SITE DEVELOPMENT PLANS**  
 for  
**MAIFLY DEVELOPMENT**  
 INTERSECTION OF FREESE ROAD AND DRYDEN ROAD (STATE ROUTE 366)  
 TOWN OF DRYDEN  
 TOMPKINS COUNTY  
 STATE OF NEW YORK

JOB NO:	1096-20
SCALE:	1"=30'
DRAWN:	AXA
DESIGNED:	AMF
DATE:	7/22/20

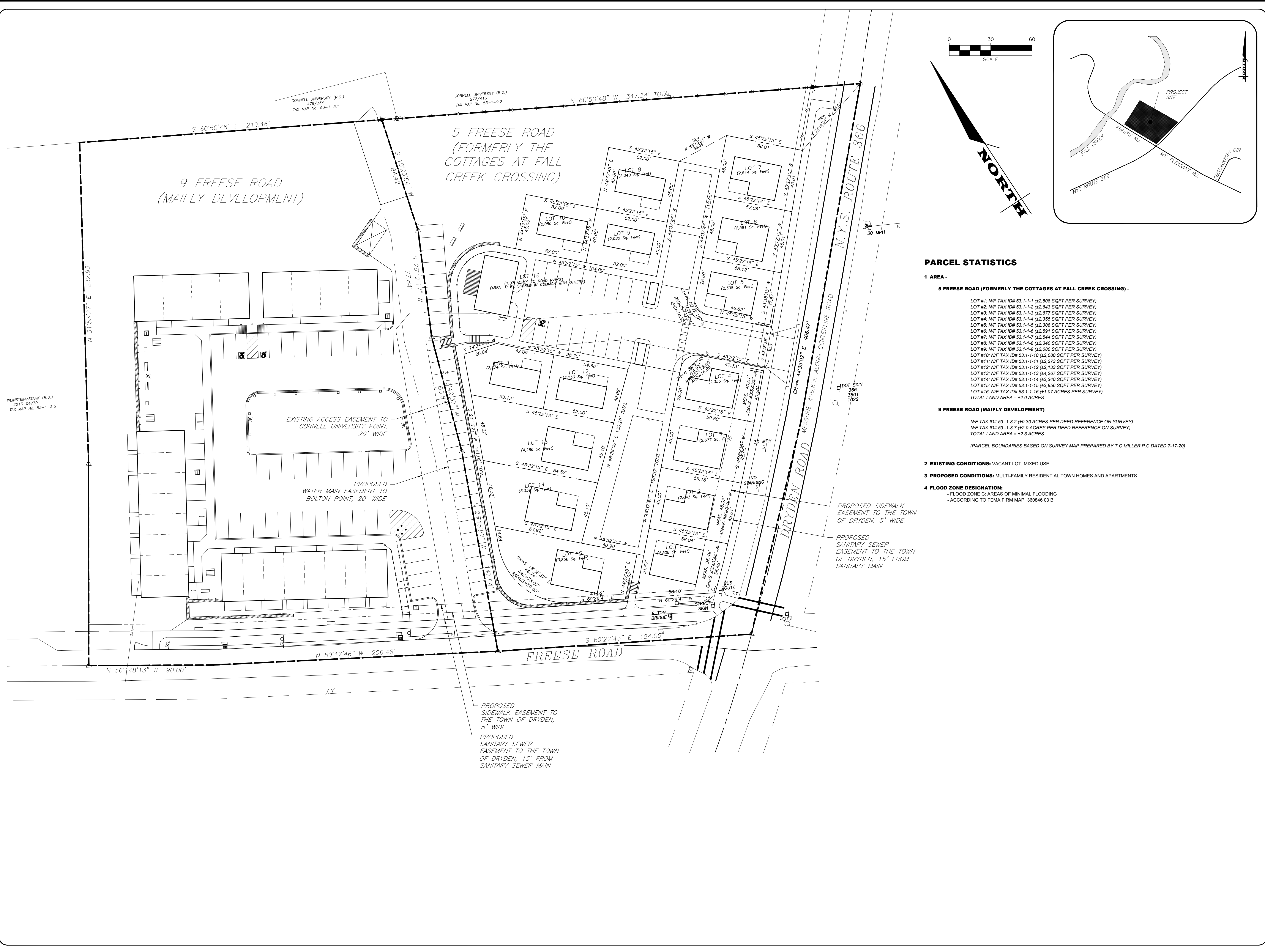
REVISIONS	
DATE	REVISION
8/28/20	AMF REVISIONS PER PLANNING BOARD COMMENTS

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**ADAM M. FISHEL**

DRAWING TITLE: <b>Demo Plan</b>	
1 of 18 SHEET No:	<b>C-1.0</b>
1096-20 JOB No:	DRAWING No:

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**PARCEL STATISTICS**

- 1 AREA -**
- 5 FREESE ROAD (FORMERLY THE COTTAGES AT FALL CREEK CROSSING) -**
- LOT #1: N/F TAX ID# 53.1-1-1 (±2,508 SQFT PER SURVEY)
  - LOT #2: N/F TAX ID# 53.1-1-2 (±2,643 SQFT PER SURVEY)
  - LOT #3: N/F TAX ID# 53.1-1-3 (±2,677 SQFT PER SURVEY)
  - LOT #4: N/F TAX ID# 53.1-1-4 (±2,355 SQFT PER SURVEY)
  - LOT #5: N/F TAX ID# 53.1-1-5 (±2,308 SQFT PER SURVEY)
  - LOT #6: N/F TAX ID# 53.1-1-6 (±2,591 SQFT PER SURVEY)
  - LOT #7: N/F TAX ID# 53.1-1-7 (±2,544 SQFT PER SURVEY)
  - LOT #8: N/F TAX ID# 53.1-1-8 (±2,340 SQFT PER SURVEY)
  - LOT #9: N/F TAX ID# 53.1-1-9 (±2,080 SQFT PER SURVEY)
  - LOT #10: N/F TAX ID# 53.1-1-10 (±2,080 SQFT PER SURVEY)
  - LOT #11: N/F TAX ID# 53.1-1-11 (±2,273 SQFT PER SURVEY)
  - LOT #12: N/F TAX ID# 53.1-1-12 (±2,133 SQFT PER SURVEY)
  - LOT #13: N/F TAX ID# 53.1-1-13 (±4,267 SQFT PER SURVEY)
  - LOT #14: N/F TAX ID# 53.1-1-14 (±3,340 SQFT PER SURVEY)
  - LOT #15: N/F TAX ID# 53.1-1-15 (±3,856 SQFT PER SURVEY)
  - LOT #16: N/F TAX ID# 53.1-1-16 (±1,107 ACRES PER SURVEY)
  - TOTAL LAND AREA = ±2.0 ACRES
- 9 FREESE ROAD (MAIFLY DEVELOPMENT) -**
- N/F TAX ID# 53.1-3.2 (±0.30 ACRES PER DEED REFERENCE ON SURVEY)
  - N/F TAX ID# 53.1-3.7 (±2.0 ACRES PER DEED REFERENCE ON SURVEY)
  - TOTAL LAND AREA = ±2.3 ACRES
- (PARCEL BOUNDARIES BASED ON SURVEY MAP PREPARED BY T.G MILLER P.C DATED 7-17-20)

- 2 EXISTING CONDITIONS:** VACANT LOT, MIXED USE
- 3 PROPOSED CONDITIONS:** MULTI-FAMILY RESIDENTIAL TOWN HOMES AND APARTMENTS
- 4 FLOOD ZONE DESIGNATION:**
- FLOOD ZONE C: AREAS OF MINIMAL FLOODING
  - ACCORDING TO FEMA FIRM MAP: 360846 03 B

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DATE:	7/30/20	
<b>REVISIONS</b>		
DATE	BY	REVISION
8/28/20	AMF	REVISIONS PER PLANNING BOARD COMMENTS

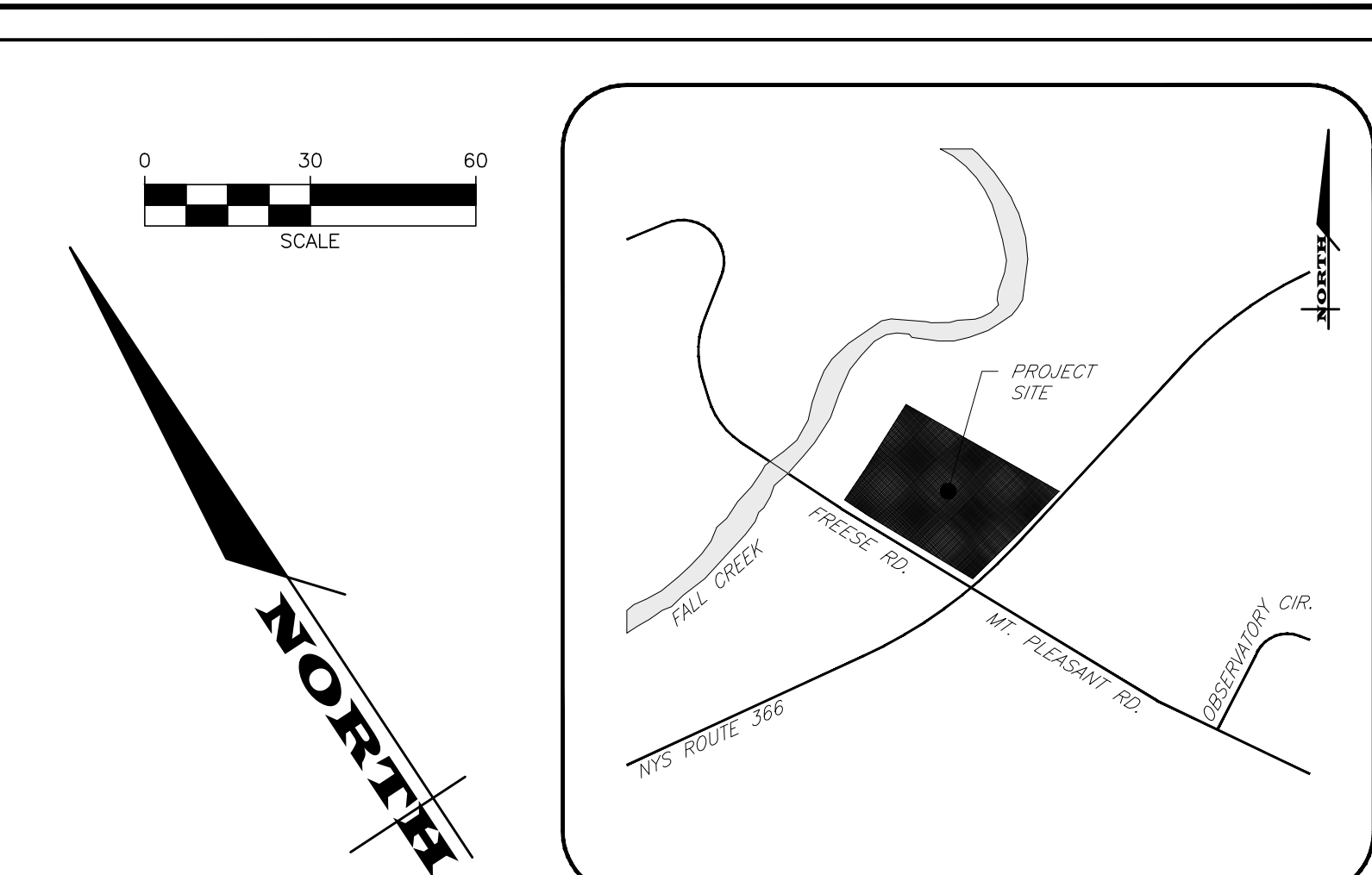
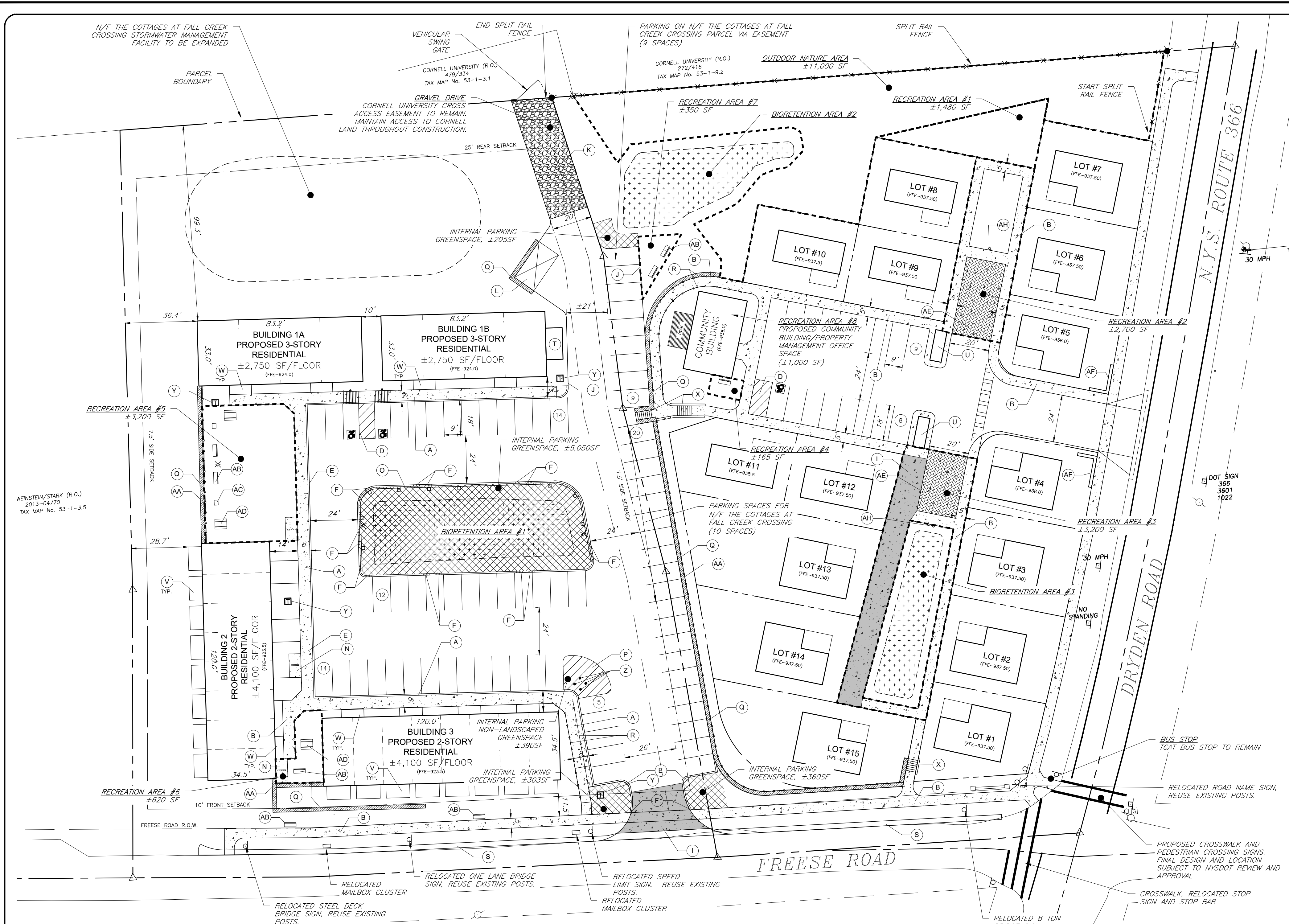
1. I, A REGISTERED PROFESSIONAL ENGINEER UNDER THE JURISDICTION OF THE STATE OF NEW YORK, HAVE EXAMINED THE SEALS AND STAMPS OF ALL REGISTERED PROFESSIONAL ENGINEERS AND SURVEYORS AND HAVE FOUND THEM TO BE IN FULL COMPLIANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL ENGINEERING AND SURVEYING LAW. THE ENGINEER OR SURVEYOR HAS REVIEWED THE DRAWING AND HAS FOUND IT TO BE IN FULL COMPLIANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL ENGINEERING AND SURVEYING LAW. THE DATE OF SUCH REVIEW AND THE DATE OF SUCH REVISION, AND A SPECIFIC DESCRIPTION OF SUCH REVISION, IS SET FORTH IN THE REVISIONS.

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STATE OF NEW YORK  
 ADAM M. FISHEL  
 REGISTERED PROFESSIONAL ENGINEER

<b>DRAWING TITLE:</b> Overall Site Plan	
2 of 18 SHEET No:	<b>C-2.0</b>
1096-20 JOB No:	DRAWING No:

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**PROJECT STATISTICS**

- 1. GENERAL:**
- 1.1 PROPERTY OWNER - MAIFLY DEVELOPMENT
  - 1.2 PROPERTY ADDRESS - 5 & 9 FREESE ROAD ITHACA, NEW YORK 14850
  - 1.3 TAX ACCOUNT - SEE OVERALL PLAN
- 2. ZONING REGULATIONS:**
- 2.1 ZONING DISTRICT - VHMUD - VARNA HAMLET MIXED USE DISTRICT.
  - 2.2 CODE REQUIREMENTS - (ASSOCIATED WITH 9 FREESE ROAD SITE UNLESS STATED OTHERWISE)

	REQUIRED	PROVIDED
MINIMUM LOT SIZE	1 AC	± 2.22' AC
MINIMUM LOT FRONTAGE	45'	11.5'
MINIMUM FRONT YARD SETBACK	10'	28.7'
MINIMUM SIDE YARD SETBACK	7.5'	99.3'
MINIMUM REAR YARD SETBACK	25'	40'
MAXIMUM BUILDING HEIGHT	40'	± 4.100 SF
MAXIMUM BUILDING FOOTPRINT	5,000 SF	± 450%*
MINIMUM GREEN SPACE (5 FREESE RD.)	40%	± 16.305 SF
MINIMUM GREEN SPACE (9 FREESE RD.)	40%	9x18'
MINIMUM INTERNAL GREENSPACE WITHIN PARKING	± 5,300 SF	
MINIMUM PARKING SPACE SIZE	9x20'	
NUMBER OF PARKING SPACES (5 FREESE RD.)	15	35
STANDARD SPACES	15	35
TOTAL	15	35
PARKING RATIO (SPACES/DWELLING UNIT)	1.2 MAX	2.33
NUMBER OF PARKING SPACES (9 FREESE RD.)	30	53
STANDARD SPACES	2	3
ADA ACCESSIBLE SPACES	32	56
TOTAL	32	56
PARKING RATIO (SPACES/DWELLING UNIT)	1.2 MAX	1.75

	TOWNHOUSE	RENTAL APARTMENTS
BASE ZONING	10 UNITS / ACRE	6 UNITS / ACRE
GREEN DEVELOPMENT BONUS	2 UNITS / ACRE	4 UNITS / ACRE
REDEVELOPMENT BONUS	2 UNITS / ACRE	4 UNITS / ACRE
TOTAL	14 UNITS / ACRE	14 UNITS / ACRE

\* SMALLER PARKING SPACES ARE ALLOWED SUBJECT TO PLANNING BOARD APPROVAL.  
 \*\* GREEN SPACE DETERMINED FROM LOT AREA TO FREESE ROAD CENTERLINE.  
 \*\*\* ONE PARKING SPACE PER DWELLING UNIT IS MINIMUM REQUIRED.  
 \*\*\*\* MAX ALLOWABLE NUMBER OF PARKING SPACES IS 120% OF MINIMUM REQUIRED UNLESS EXPRESSLY APPROVED BY THE TOWN OF DRYDEN PLANNING BOARD.  
 \*\*\*\*\* BASED ON SITE LAYOUT PLAN INCLUDED AS PART OF THE TOWN OF DRYDEN'S SUBDIVISION APPROVAL FOR "THE COTTAGES AT FALL CREEK CROSSING" APPROVED ON 12/21/16.

**2.3 VARIANCES - NONE**

**3. PARCEL STATISTICS:**

REFER TO SHEET C2.0 FOR PARCEL STATISTICS

**4. PROPOSED BUILDING:**

- 4.1 5 FREESE ROAD (FORMERLY THE COTTAGES AT FALL CREEK CROSSING PORTION):  
 5 2-BEDROOM UNITS  
 10 3-BEDROOM UNITS  
 TOTAL = 15 UNITS WITH 40 BEDROOMS TOTAL
- 4.2 9 FREESE ROAD (MAIFLY PORTION):  
 BUILDING 1A (3-STORY) - ± 8,250 SF, TOTAL (APARTMENT BUILDING PROVIDING 1, 2 & 3 BEDROOM UNITS)  
 BUILDING 1B (3-STORY) - ± 8,250 SF, TOTAL (APARTMENT BUILDING PROVIDING 1, 2 & 3 BEDROOM UNITS)  
 BUILDING 2 (2-STORY) - ± 8,200 SF, TOTAL (TOWN HOMES PROVIDING 1, 2 & 3 BEDROOM UNITS)  
 BUILDING 3 (2-STORY) - ± 8,200 SF, TOTAL (TOWN HOMES PROVIDING 1, 2 & 3 BEDROOM UNITS)  
 TOTAL = ± 32,900 SF, TOTALING 32 DWELLING UNITS

**5. POCKET PARK/RECREATION AMENITY SUMMARY:**

5 FREESE ROAD	
- COMMUNITY BUILDING	± 1,000 SF
- RECREATION AREA #1	± 1,065 SF
- RECREATION AREA #2	± 2,700 SF
- RECREATION AREA #3	± 3,200 SF
- RECREATION AREA #4	± 165 SF
- OUTDOOR NATURE AREA	± 11,415 SF
SUBTOTAL	± 19,545 SF
9 FREESE ROAD	
- RECREATION AREA #5	± 3,200 SF
- RECREATION AREA #6	± 620 SF
- RECREATION AREA #7	± 350 SF
SUBTOTAL	± 4,170 SF
<b>GRAND TOTAL</b>	<b>± 23,715 SF</b>

- RECREATION SPACE DENSITY = ± 74.1 SF/UNIT  
 BASED ON RECREATIONAL AREAS AVAILABLE TO ALL TENANTS/OWNERS INCLUDED IN THIS DEVELOPMENT. OPEN LAWN SPACE ASSOCIATED WITH 5 FREESE ROAD LOTS IS NOT INCLUDED.

REFER TO SHEET C2.2 FOR ENLARGEMENTS OF RECREATION AND OUTDOOR NATURE AREAS.

5 FREESE ROAD PRIVATE YARD AREA  
 - USABLE YARD AREA TYP. OF 15 LOTS ± 1,560 SF (PRIVATE YARD)  
 PRIVATE YARD AREA TOTAL ± 23,400 SF  
 - RECREATION SPACE DENSITY = ± 1,560 SF/UNIT

**SITE KEYNOTES**

- (A) RAISED SIDEWALK WITH INTEGRAL CURBING, WIDTH SHOWN ON PLANS
- (B) CONCRETE SIDEWALK, WIDTH SHOWN ON PLANS
- (C) ACCESSIBLE RAMP
- (D) ACCESSIBLE PARKING AND SIGNAGE
- (E) 18" CONCRETE CURBING
- (F) PIPE BOLLARDS
- (G) CURB TRANSITION
- (H) REGULAR DUTY ASPHALT PAVEMENT
- (I) HEAVY DUTY ASPHALT PAVEMENT
- (J) HEAVY DUTY CONCRETE PAVEMENT
- (K) EDGE OF PAVEMENT
- (L) GRAVEL ACCESS DRIVE
- (M) DUMPSTER ENCLOSURE
- (N) LIGHT FIXTURE
- (O) BIKE RACK
- (P) TIMBER GUIDE RAIL
- (Q) STRIPED AREA, EDGE LINES TO BE SWSL4" AND STRIPES ARE TO BE SWSL4" 2'-0" O.C. @ 45° TO THE EDGE LINES.
- (R) RETAINING WALL
- (S) HANDRAIL
- (T) CONCRETE GUTTER
- (U) MECHANICAL ROOM, RE: ARCH
- (V) BIKE SHED, RE: ARCH
- (W) DECK, RE: ARCH
- (X) STOOP, RE: ARCH
- (Y) STAIRS
- (Z) TRANSFORMER
- (AA) PIPE BOLLARDS
- (AB) CHAIN LINK FENCE
- (AC) PARK STYLE BENCHES, SIZE, TYPE, FINISH, QUANTITY, ETC. TO BE SELECTED BY OWNER
- (AD) BBQ GRILL APPARATUS, TBD BY OWNER
- (AE) WOODEN PICNIC TABLE, TBD BY OWNER
- (AF) HEAVY DUTY STAMPED CONCRETE
- (AG) SEAT WALL, RE: ARCHITECTURAL PLANS
- (AH) DEVELOPMENT SIGN, RE: ARCHITECTURAL PLANS
- (AI) "NO PARKING, FIRE LANE" SIGN

**CONSTRUCTION**

1. **STAKEOUT** - THE CONSTRUCTION STAKEOUT SHALL BE PERFORMED BY A LICENSED LAND SURVEYOR USING CONTROL PROVIDED ON THE "LAYOUT PLAN". THE BUILDING FOOTPRINT(S), DATED 08/19/20, WERE PROVIDED BY STREAM COLLABORATIVE. DISCREPANCIES WITH BUILDING(S), CONTROL POINTS, AND/OR THE DIMENSIONS SHALL BE REPORTED TO THE DESIGN ENGINEER (PRIOR TO THE INSTALLATION OF IMPROVEMENTS) FOR COORDINATION AND CLARIFICATION.
2. **BOUNDARY** - BOUNDARY INFORMATION WAS TAKEN FROM SURVEY TITLE PREPARED BY T.G. MILLER P.C. DATED 08/13/2020 AND IS SHOWN FOR GRAPHICAL REPRESENTATION ONLY.
3. **LAYOUT** - DIMENSIONS SHOWN, WHERE APPLICABLE, SHALL BE FROM THE FACE OF CURB UNLESS SPECIFICALLY CALLED OUT OTHERWISE.
4. **DEMOLITION** - CLEARING AND GRUBBING SHALL BE LIMITED TO THE SITE BOUNDARIES OR WITHIN THE "WORK LIMIT LINE" AS DEFINED ON THE PLAN. TREES AND OBJECTS DESIGNATED FOR REMOVAL SHALL BE COORDINATED AND FIELD VERIFIED WITH PROJECT ON-SITE REPRESENTATIVE. ALL MATERIALS SHALL BE LEGALLY DISPOSED OF OFF-SITE OR RETURNED TO OWNER AS REQUIRED BY CONTRACT DOCUMENTS. ALL ITEMS NOT SPECIFICALLY CALLED OUT TO BE REMOVED SHALL REMAIN.
5. **COORDINATION** - THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITY WORK WITH OTHER SITE UTILITIES (I.E. GAS, ELECTRIC, LIGHTING, COMMUNICATIONS) TO AVOID POTENTIAL INSTALLATION CONFLICTS.
6. **STAGING** - AS DEFINED BY THE CONTRACT DOCUMENTS THE CONTRACTOR SHALL CONSTRUCT A SECURE STAGING AREA FOR STORAGE OF EQUIPMENT, MATERIALS, EMPLOYEE PARKING AND OFFICE SPACE. IF THE AREA/METHOD IS NOT SPECIFICALLY DEFINED ON THE DOCUMENTS THEN IT SHALL BE COORDINATED WITH THE OWNER'S ON-SITE REPRESENTATIVE.
7. **CLOSE-OUT** - THE CONTRACTOR'S WORK SCOPE INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING AT PROJECT CLOSE-OUT TO THE SATISFACTION OF OWNER'S ON-SITE REPRESENTATIVE:
  - REMOVAL OF ANY CONSTRUCTION DEBRIS
  - CLEANING PAVEMENT AND WALKWAY SURFACES
  - RESTORATION OF ALL DISTURBED GRASS AND LANDSCAPED AREAS
  - PROVIDING BONDS, GUARANTEES, CERTIFICATIONS, ETC. AS REQUIRED BY CONTRACT DOCUMENTS
  - PROVIDING REDLINES FOR RECORD DRAWING
  - COMPLETION OF FINAL PUNCH LIST ITEMS

**GENERAL**

1. **APPLICABILITY** - THE NOTES AND INFORMATION PROVIDED ON THIS SHEET ARE APPLICABLE TO ALL "C" SERIES DRAWINGS. THE "C" SERIES DRAWINGS COVER SITE RELATED IMPROVEMENTS OUTSIDE THE BUILDING ENVELOPE. THE BUILDING ENVELOPE INCLUDES ALL AREA WITHIN 5' OUTSIDE OF THE BUILDING'S EXTERIOR WALL.
2. **MAPPING** - THE EXISTING UNDERGROUND UTILITIES WERE PLOTTED BASED ON RECORD MAPPING SUPPLIED BY OTHERS. THE ENGINEER MAKES NO WARRANTY AS TO THE LOCATION, SIZE, TYPE, ELEVATION, AND/OR NUMBER OF EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE VICINITY OF THE NEW INFRASTRUCTURE.
3. **UTILITY STAKEOUT** - THE CONTRACTOR SHALL NOTIFY DIG SAFELY NEW YORK (1-800-962-7962) FOR A UTILITY STAKEOUT 48 HOURS IN ADVANCE OF COMMENCING WORK. STAKEOUT OF PRIVATE UTILITIES SHALL BE COORDINATED WITH THE OWNER.
4. **PROPERTY PROTECTION** - THE CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO EXISTING PAVEMENT, CURBS, WALKS, LAWNS, TREES, ETC. CAUSED BY THEIR CONSTRUCTION OPERATIONS. ALL DAMAGE SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR TO THE OWNER'S SATISFACTION AT NO ADDITIONAL EXPENSE.
5. **ACCESS** - THE CONTRACTOR SHALL PROVIDE SATISFACTORY VEHICULAR ACCESS TO ALL ADJOINING PROPERTIES, PRIVATE ROADWAYS, PARKING FACILITIES, AND PUBLIC STREETS DURING CONSTRUCTION.
6. **SITE SAFETY** - PRIOR TO AND THROUGHOUT CONSTRUCTION, THE CONTRACTOR SHALL POST SIGNAGE IN CONFORMANCE WITH THE REQUIREMENTS OF THE LOCAL MUNICIPALITY AND OCCUPATIONAL HEALTH AND SAFETY ACT (OHSA). JOB SAFETY AND MAINTENANCE AND PROTECTION OF TRAFFIC IS THE RESPONSIBILITY OF THE CONTRACTOR.
7. **EXCAVATIONS** - ALL EXCAVATIONS SHALL BE BACKFILLED/BARRICADED TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT THE CONCLUSION OF EACH WORKING DAY.
8. **MAINTENANCE** - PUBLIC STREETS, PRIVATE DRIVES AND PARKING FACILITIES SHALL BE KEPT FREE OF FOREIGN MATERIALS. ALL AREAS SHALL BE SWEEPED CLEAN AT THE END OF EACH WORKING DAY AND/OR AS DIRECTED BY THE OWNER'S ON-SITE REPRESENTATIVE.
9. **CONSTRUCTION STORAGE** - STORAGE OF EQUIPMENT AND MATERIALS SHALL BE WITHIN A SPECIFIED AND SECURED AREA AS DETERMINED IN CONTRACT DOCUMENTS OR AS SPECIFIED BY THE OWNER'S ON-SITE REPRESENTATIVE.
10. **PERMITS(S)** - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN THE NECESSARY PERMITS FROM THE APPLICABLE MUNICIPALITY OR AGENCY. THE CONTRACTOR IS RESPONSIBLE FOR ALL BONDS AND INSURANCES AND THE OWNER IS RESPONSIBLE FOR PERMIT FEES UNLESS OTHERWISE STATED IN THE OWNER/ CONTRACTOR AGREEMENT.
11. **INTERIM CONDITIONS** - THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDINGS AND WITHIN PROJECT AREA TO A STABILIZED OUTLET THROUGHOUT THE CONSTRUCTION PERIOD. THIS MAY REQUIRE INTERIM GRADING, SHIMMING OF PAVEMENT ETC. THAT IS NOT SPECIFICALLY SHOWN ON THE PLANS AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
12. **SPECIFICATIONS** - TECHNICAL SPECIFICATIONS, IF SUPPLIED AS PART OF CONTRACT DOCUMENTS, ARE INTENDED TO AID AND HELP DEFINE THE CONTRACTOR'S WORK SCOPE. IF DISCREPANCIES OCCUR THE CONTRACTOR SHALL REQUEST A CLARIFICATION.

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 ITHACA, NY 14850  
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**SITE DEVELOPMENT PLANS**  
 for  
**MAIFLY DEVELOPMENT**  
 INTERSECTION OF FREESE ROAD AND DRYDEN ROAD (STATE ROUTE 366)  
 TOWN OF DRYDEN  
 TOMPKINS COUNTY  
 STATE OF NEW YORK

JOB NO: 1096-20  
 SCALE: 1"=30'  
 DRAWN: AMF  
 DESIGNED: AMF  
 DATE: 3/11/20

**REVISIONS**

DATE	BY	REVISION
5/20/20	AXA	REVISIONS PER PLANNING BOARD COMMENTS
8/28/20	AMF	REVISIONS PER PLANNING BOARD COMMENTS
9/28/20	AXA	RECREATION AREA REVISIONS
10/16/20	AMF	REVISIONS PER PLANNING BOARD COMMENTS

ADAM M. FISHEL  
 NOT FOR CONSTRUCTION  
 PROFESSIONAL SEAL

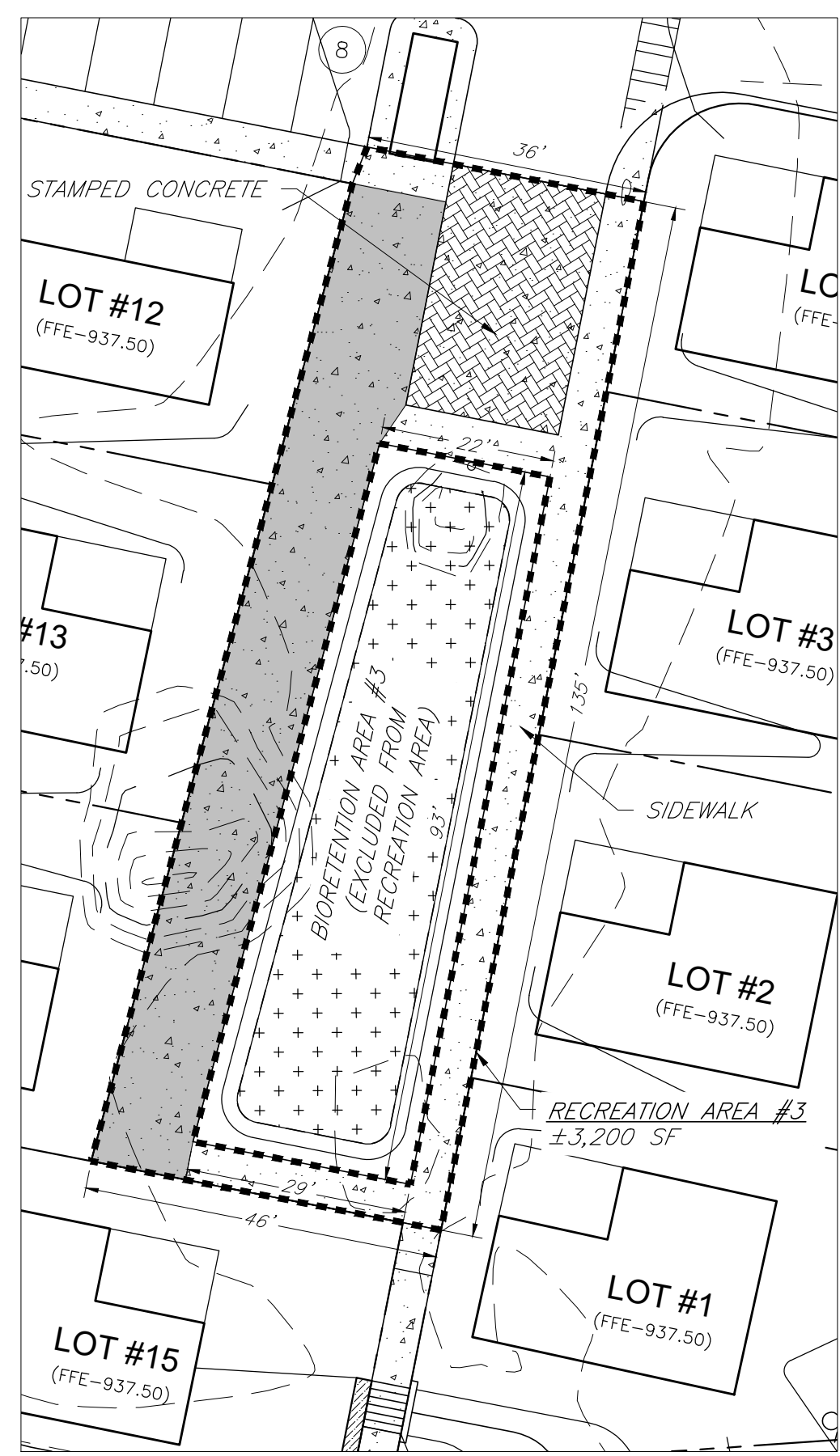
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3 of 18  
 SHEET No: **C-2.1**

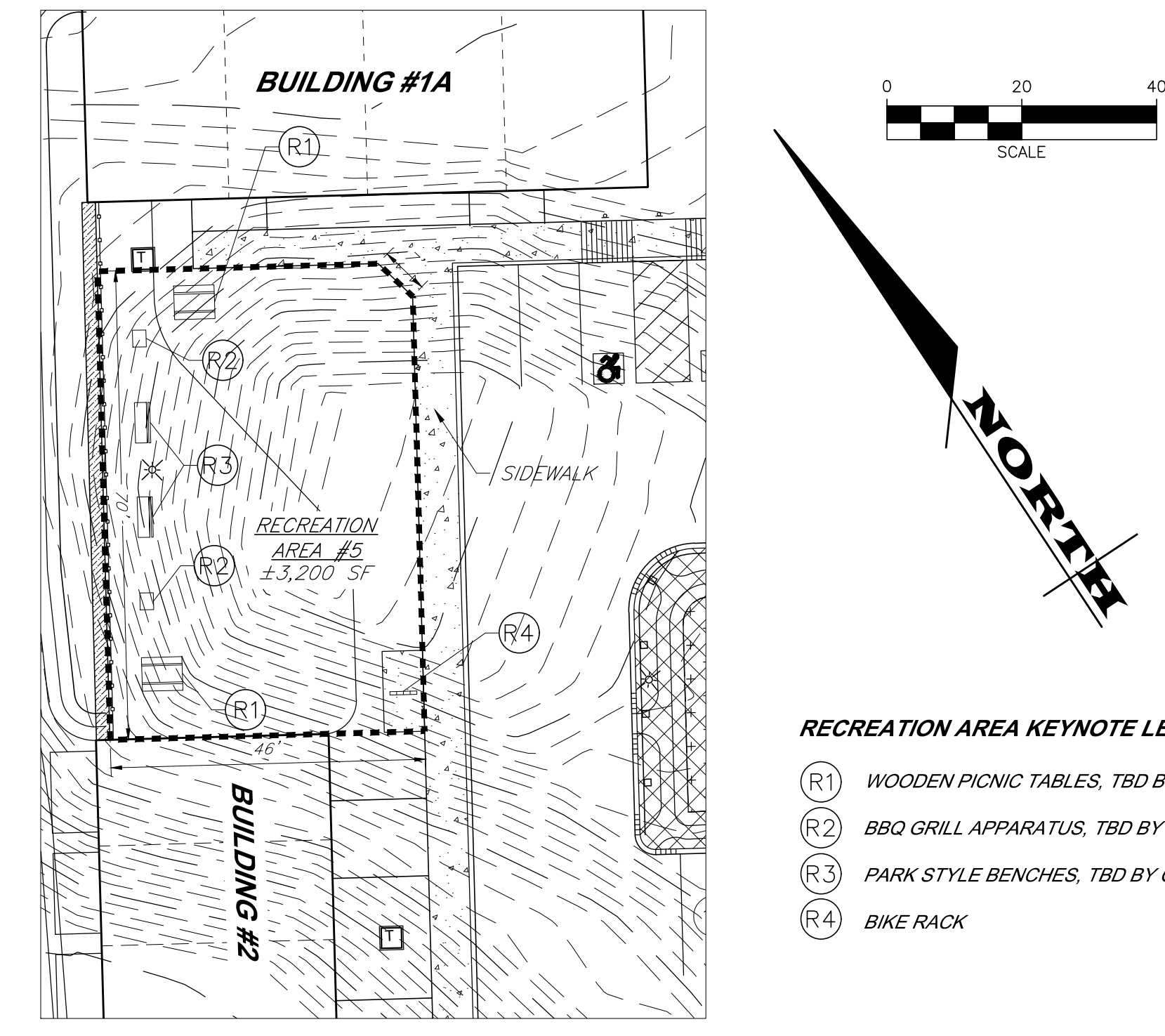
1096-20  
 JOB No: DRAWING No:

5 FREESE ROAD					
AREA DESIGNATION	GROSS AREA	PERVIOUS	IMPERVIOUS	STORMWATER MANAGEMENT	NET AREA
RECREATION AREA #1	1,065 SF	1,065 SF	0 SF	0 SF	±1,065 SF
RECREATION AREA #2	2,700 SF	800 SF	1,900 SF	0 SF	±2,700 SF
RECREATION AREA #3	5,589 SF	0 SF	5,589 SF	2,364 SF	±3,200 SF
RECREATION AREA #4	165 SF	165 SF	0 SF	0 SF	±165 SF
COMMUNITY BUILDING	1,000 SF	0 SF	1,000 SF	0 SF	±1,000 SF
OUTDOOR NATURE AREA	11,415 SF	11,415 SF	0 SF	0 SF	±11,415 SF
				TOTAL	±19,545

9 FREESE ROAD					
AREA DESIGNATION	GROSS AREA	PERVIOUS	IMPERVIOUS	STORMWATER MANAGEMENT	NET AREA
RECREATION AREA #5	3,200 SF	3,128 SF	72 SF	0 SF	±3,200 SF
RECREATION AREA #6	620 SF	548 SF	72 SF	0 SF	±620 SF
RECREATION AREA #7	350 SF	350 SF	0 SF	0 SF	±350 SF
				TOTAL	±4,170

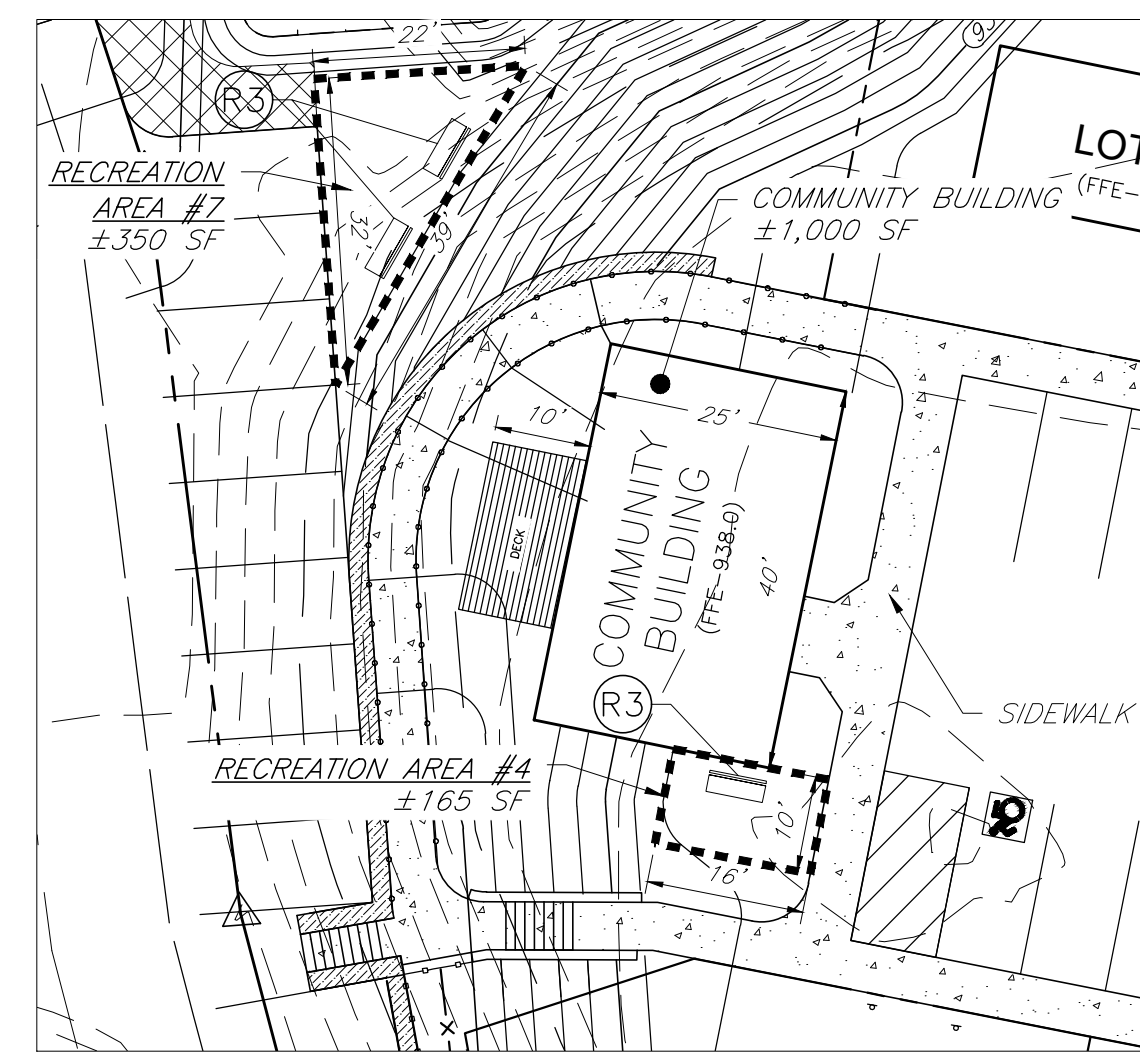


3 RECREATION AREA ENLARGEMENT (#3)

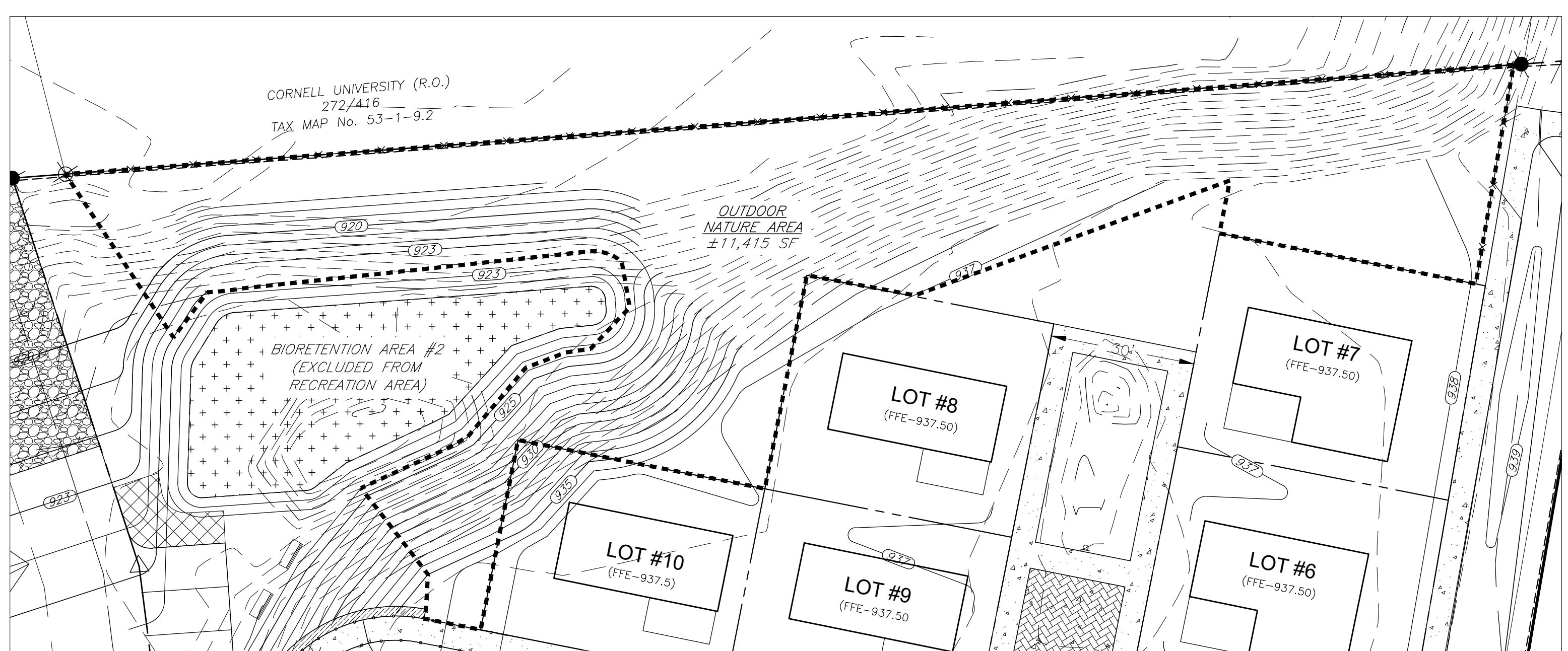


1 RECREATION AREA ENLARGEMENT (#5)

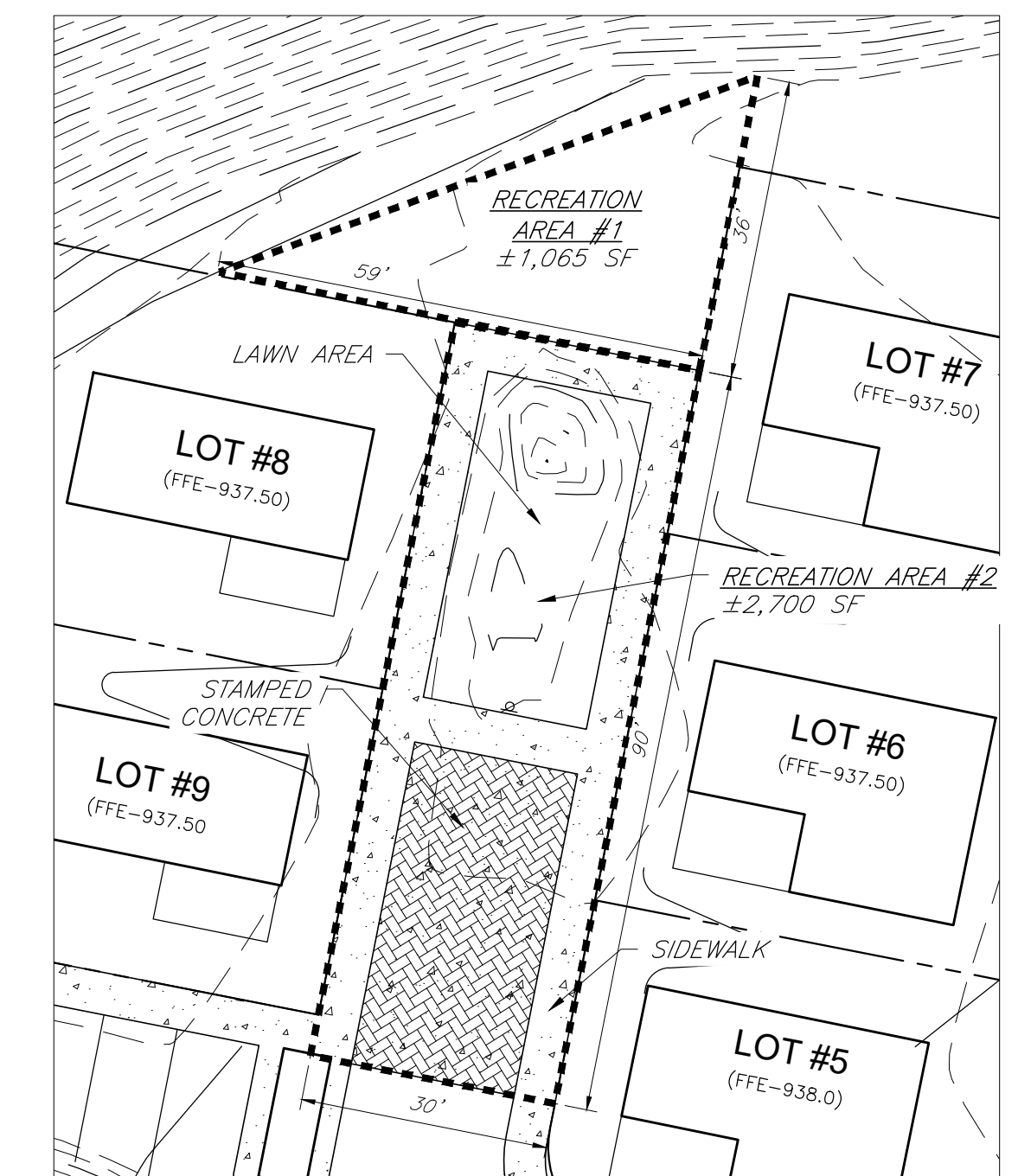
- RECREATION AREA KEYNOTE LEGEND**
- (R1) WOODEN PICNIC TABLES, TBD BY OWNER
  - (R2) BBQ GRILL APPARATUS, TBD BY OWNER
  - (R3) PARK STYLE BENCHES, TBD BY OWNER
  - (R4) BIKE RACK



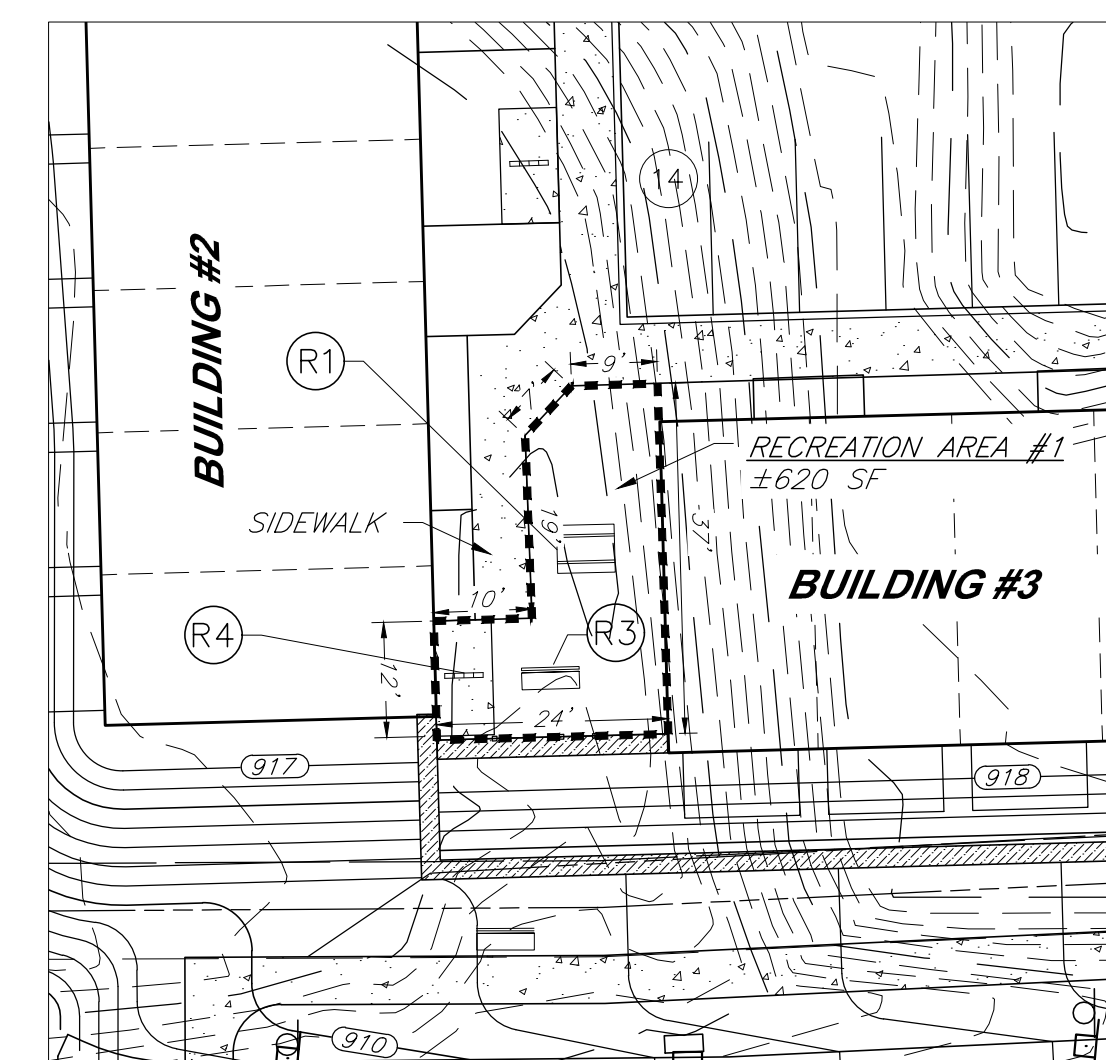
2 RECREATION AREA ENLARGEMENT (#4, #7, & #8)



4 OUTDOOR NATURE AREA



5 RECREATION AREA ENLARGEMENT (#1 & #2)



6 RECREATION AREA ENLARGEMENT (#6)

JOB NO:	1096-20
SCALE:	1"=20'
DRAWN:	AXA
DESIGNED:	AMF
DATE:	9/28/20

REVISIONS	
DATE	BY REVISION
10/16/20	AMF REVISIONS PER PLANNING BOARD COMMENTS

I, A REGISTERED PROFESSIONAL ENGINEER UNDER THE JURISDICTION OF THE STATE OF NEW YORK, HEREBY CERTIFY THAT I AM THE DESIGNER OF THE ABOVE PROJECT AND I AM NOT PROVIDING ANY SERVICES TO THE CLIENT AS A CONSULTANT OR ADVISOR IN ANY MANNER THAT WOULD BE CONSIDERED AS A PROFESSIONAL ENGINEER OR ARCHITECT UNDER THE JURISDICTION OF THE STATE OF NEW YORK. I AM NOT PROVIDING ANY SERVICES TO THE CLIENT AS A CONSULTANT OR ADVISOR IN ANY MANNER THAT WOULD BE CONSIDERED AS A PROFESSIONAL ENGINEER OR ARCHITECT UNDER THE JURISDICTION OF THE STATE OF NEW YORK.

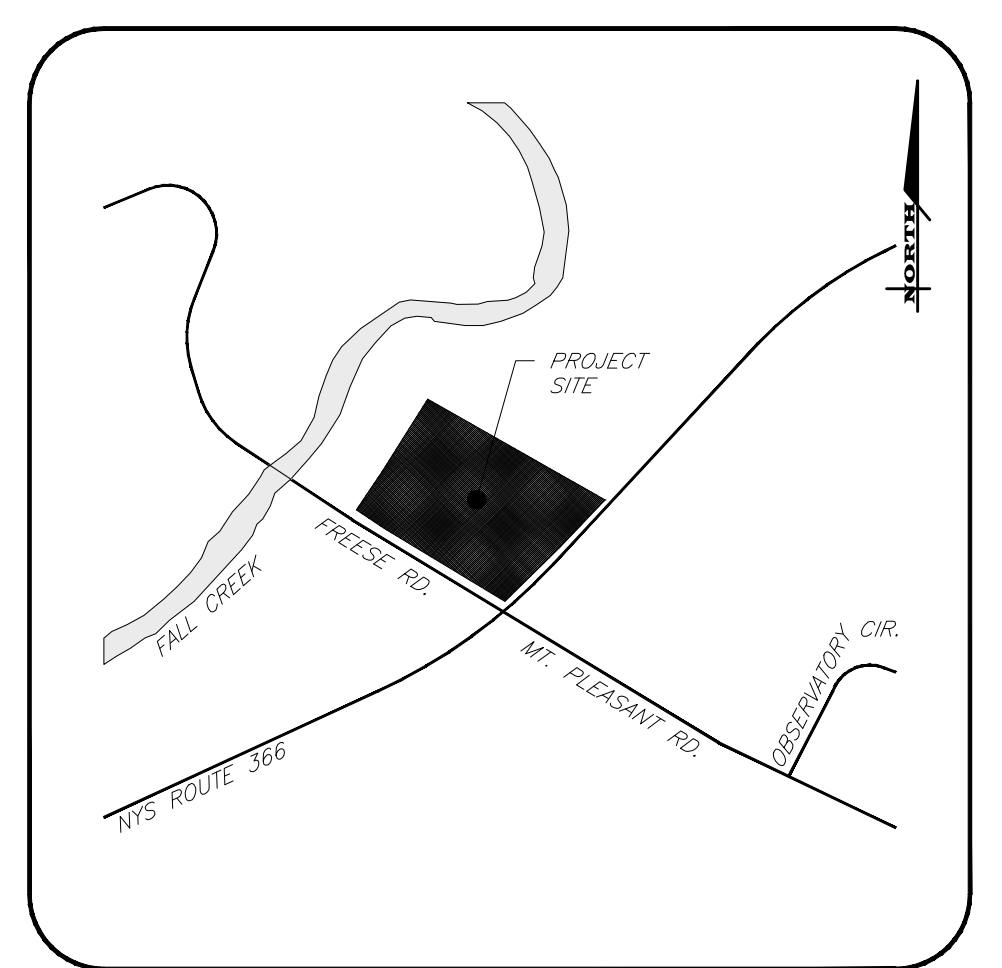
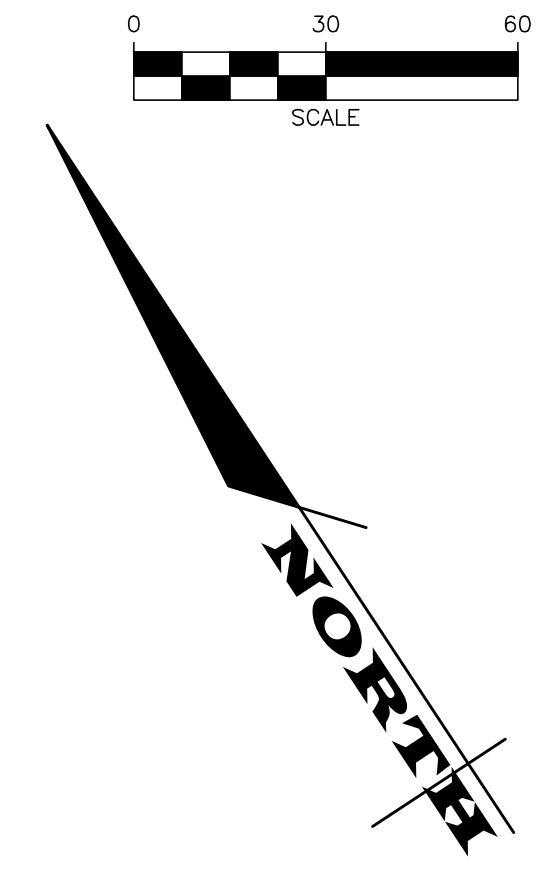
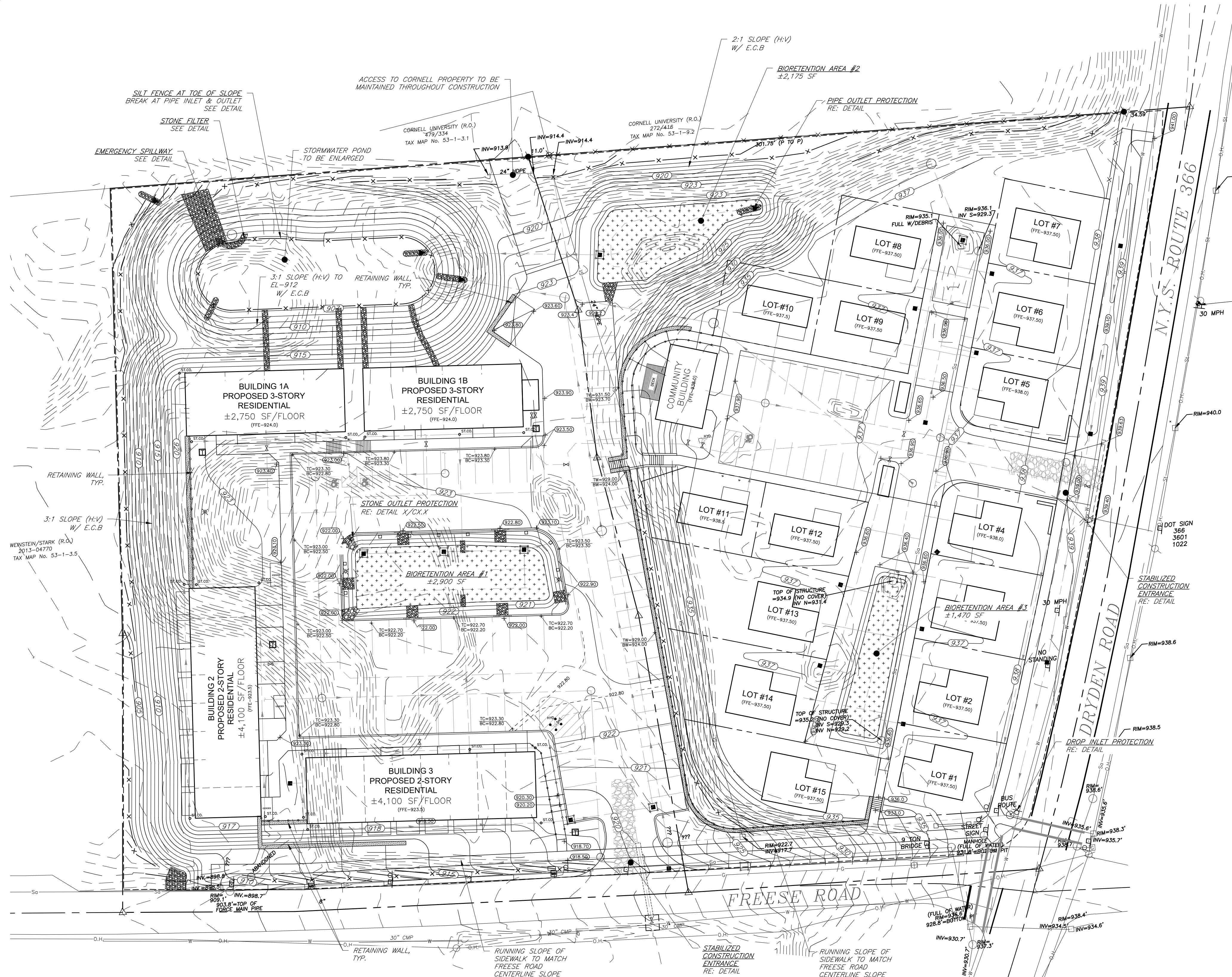
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 ADAM M. FISHEL  
 REGISTERED PROFESSIONAL ENGINEER

DRAWING TITLE: Recreation Area Enlargements Plan	
4 of 18 SHEET No:	C-2.2
1096-20 JOB No:	DRAWING No:

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**EROSION CONTROL**

- CERTIFICATION** - THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP), WHICH INCLUDES THE "GRADING PLAN," "EROSION CONTROL PLAN," "EROSION CONTROL NOTES," ALONG WITH THE "DRAINAGE REPORT," DEFINES AND MEETS THE REQUIREMENTS OF THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYSDEC) LATEST STORM WATER REGULATIONS.
- CONTRACTOR RESPONSIBILITY** - ALL CONTRACTORS AND SUB-CONTRACTORS SHALL CERTIFY WITHIN THE SWPPP THAT THEY WILL IMPLEMENT AND MAINTAIN STORM WATER MANAGEMENT PRACTICES.
- INSPECTION** - EROSION CONTROL (EC) MEASURES INSTALLED AND MAINTAINED BY THE SITE WORK CONTRACTOR ARE SUBJECT TO THE REVIEW AND APPROVAL OF THE MUNICIPALITY, DESIGN ENGINEER, NYSDEC, AND OWNER'S REPRESENTATIVE. IMMEDIATE ACTION BY THE CONTRACTOR SHALL BE TAKEN IF ADDITIONAL OR CORRECTIVE MEASURES ARE REQUIRED BY ANY ONE OF THESE CITED REVIEWERS. EROSION CONTROL MEASURES NOT SPECIFICALLY SHOWN ON CONTRACT DRAWINGS (I.E., STRAW BALES, COLLARS, FABRICS, ETC.) SHALL BE INSTALLED AS WARRANTED BY FIELD CONDITIONS, AND AS DIRECTED BY THE AFOREMENTIONED REVIEWERS.
- NOTIFICATION** - AS DESIGN ENGINEER, OUR OFFICE HAS NOTIFIED THE OWNER OF THE INSPECTION REQUIREMENTS UNDER GP-0-20-002. DISTURBANCES OF 1.0 ACRE OR GREATER REQUIRE THAT THE OWNER FILE A NOTICE OF INTENT (NOI) AND A SWPPP WITH THE NYSDEC UNDER STATE POLLUTANT DISCHARGE ELIMINATION SYSTEM (SPDES) GENERAL PERMIT #GP-0-20-001. THE REGULATIONS REQUIRE THAT A LICENSED PROFESSIONAL COMPLETE A WEEKLY INSPECTION (THROUGHOUT THE PERIOD OF LAND DISTURBANCE).
- PRE-CONSTRUCTION** - THE APPROPRIATE EROSION CONTROL MEASURES AS DEFINED BY THE CONSTRUCTION DOCUMENTS SHALL BE INSTALLED PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES. A PRE-CONSTRUCTION MEETING WITH THE TOWN OF DRYDEN SHALL OCCUR PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
- TOPSOIL** - UPON COMPLETION OF THE STOCKPILE STRIPPING OPERATION, STOCKPILES SHALL BE STABILIZED IN ACCORDANCE TO NYSDEC REGULATIONS.
- SLOPES** - UPON COMPLETION OF GRADING, SLOPES WITH A GRADIENT OF ONE FOOT VERTICAL TO THREE FEET HORIZONTAL (1 ON 3) OR GREATER SHALL BE: TOPSOILED, SEEDED, FERTILIZED AND MULCHED OR TREATED AS SPECIFIED ON CONTRACT DRAWINGS.
- DUST** - THE CONTRACTOR SHALL APPLY WATER AND/OR CALCIUM CHLORIDE, AS CONDITIONS WARRANT, TO CONTROL WIND BORN EROSION. THIS MEASURE APPLIES TO: HAUL ROADS, CUT AND FILL OPERATIONS, SUB-BASE AND ANY OTHER EXPOSED SURFACES.
- OPERATION & MAINTENANCE** - THROUGHOUT THE PERIOD OF CONSTRUCTION AND PRIOR TO ESTABLISHING FINAL GROUND COVER THE SITE CONTRACTOR IS RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE TEMPORARY EROSION CONTROL MEASURES. FOR EXAMPLE, THE SILTATION FACILITIES SHALL BE RE-EXCAVATED WHEN THE VOLUME (3600 CUBIC FEET/DISTURBED ACRE) IS REDUCED BY ONE-HALF OR MORE OF ITS SPECIFIED CAPACITY AND/OR THE MATERIAL IS WITHIN ONE FOOT OF THE DISCHARGE POINT.
- WORK STOPPAGE** - ALL DISTURBED AREAS NOT TO BE WORKED WITHIN 14 DAYS MUST BE SEEDED WITHIN 7 DAYS FROM THE LAST CONSTRUCTION ACTIVITY IN THAT AREA.
- TEMPORARY STABILIZATION** - TEMPORARY STABILIZATION SHALL REQUIRE 4 TONS OF STRAW/ACRE OF DISTURBANCE PLACED WITH TACKIFIER OR ROLLED WITH A TRACKED VEHICLE TO ENSURE NOT DISPLACED.
- WINTER STABILIZATION** - ALL WINTER STABILIZATION METHODS IDENTIFIED IN THE NYS 'BLUE BOOK' SHALL BE FOLLOWED FOR ANY DISTURBANCE OR NON-STABILIZED AREAS FROM NOVEMBER 15TH - APRIL 1ST.
- SUBSOIL RESTORATION** - ALL AREAS TO BE RESTORED AS LAWN SHALL BE RESTORED PER CHAPTER 5 (5.1.6) OF THE NEW YORK STATE STORMWATER DESIGN MANUAL AND THE SOIL RESTORATION TABLE (TABLE 5.3 - SOIL RESTORATION REQUIREMENTS) SHOWN ON THE PLANS. THE PROJECT SOILS ARE HYDROLOGIC SOIL GROUP D AND SHALL BE RESTORED AS SPECIFIED.
- SEQUENCE** - THE CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES IN THE FOLLOWING SEQUENCE UNLESS AUTHORIZED OTHERWISE AT PRE-CONSTRUCTION MEETING:
  - INSTALL PERIMETER SEDIMENT CONTROLS, I.E. EROSION FENCING.
  - INSTALL STABILIZED CONSTRUCTION ENTRANCE.
  - PROTECT VEGETATION TO REMAIN.
  - CLEAR/GRUB AND CONSTRUCT DIVERSIONARY SWALES, AND SEDIMENT BASINS.
  - COMPLETE CLEARING AND GRUBBING OPERATION.
  - PLACE EROSION CONTROL MEASURES AT TOPSOIL STOCKPILES AND STRIP TOPSOIL.
  - CONSTRUCT SWALES AND SILTATION DEVICES AS EARTHWORK OPERATIONS PROGRESS.
  - MAINTAIN EROSION CONTROL MEASURES AND PLACE ADDITIONAL MEASURES AS EARTHWORK AND UNDERGROUND UTILITIES ARE CONSTRUCTED.
  - RESTORE AREAS AS DEFINED BY CONTRACT DOCUMENTS.
  - REMOVE EROSION CONTROL MEASURES AS AREAS ARE REESTABLISHED WITH GROUND COVER.

**EARTHWORK**

- PREPARATION** - PRIOR TO START OF EARTHWORK OPERATIONS THE CONTRACTOR SHALL COMPLETE THE FOLLOWING APPLICABLE ITEMS AS DEFINED BY CONTRACT DOCUMENTS:
  - SITE DEMOLITION** - REMOVAL AND DISPOSAL OFF-SITE IN A LEGAL MANNER, STRUCTURES, UTILITIES, PAVEMENTS, ETC.
  - CLEARING AND GRUBBING** - REMOVAL AND DISPOSAL OFF-SITE IN A LEGAL MANNER, TREES, BRUSH, STUMPS, ETC.
  - TOPSOIL STRIPPING** - STRIP AND STOCKPILE TOPSOIL FOR REUSE. EXCESS TOPSOIL MAY BE REMOVED FROM SITE WITH APPROVAL BY OWNER AND MUNICIPALITY.
- RESPONSIBILITY** - THE CONTRACTOR IS RESPONSIBLE FOR:
  - ESTIMATE** - COMPLETION OF A QUANTITY TAKEOFF TO DETERMINE THE VOLUME OF CUT, FILL, AND TOPSOIL. COMPARE AND COORDINATE WITH INFORMATION PROVIDED BY THE DESIGN ENGINEER.
  - GRADE TOLERANCES** - ESTABLISHING DESIGN SUBGRADE ELEVATIONS TO WITHIN ONE TENTH OF ONE FOOT (0.10') IN PAVEMENT AREAS (INCLUDING WALKS) AND TO WITHIN THIRTY-THREE HUNDRETHS OF ONE FOOT (0.33') FOR ALL REMAINING AREAS.
  - COMPACTION** - ACHIEVING THE SPECIFIED MINIMUM COMPACTION VALUES FOR EMBANKMENT/FILL AREAS. THE TERMS "FILL" AND EMBANKMENT ARE INTERCHANGEABLE.
  - CUTS** - ONCE EXCAVATIONS ARE SHAPED TO THE DESIGN GRADES THE AREAS SHALL BE PROTECTED TO ASSURE THAT THE INTEGRITY OF MATERIAL IS NOT COMPROMISED BY CONSTRUCTION VEHICLES AND/OR IMPROPER DRAINAGE. AREAS DETERMINED BY CONTRACTOR TO BE NOT SUITABLE FOR SUBGRADE PLACEMENT SHALL BE IMMEDIATELY REPORTED WHEN THE SUBGRADE IS ESTABLISHED TO OWNER'S REPRESENTATIVE. STABILIZATION MEASURES FOR CUT AREAS MAY BE CONSIDERED BY OWNER'S REPRESENTATIVE AS A CHANGE TO THE BASE CONTRACT.
- TESTING** - THE FOLLOWING MAXIMUM DRY DENSITIES SHALL BE ACHIEVED AS MEASURED BY THE MODIFIED PROCTOR METHOD ASTM D-1557:
  - 95% UNDER PAVEMENTS, WALKS, AND IN STRUCTURAL FILL AREAS
  - 85% IN REMAINING AREAS

THE AGREEMENT BETWEEN THE OWNER AND CONTRACTOR SHALL DEFINE THE NUMBER OF TESTS AND RESPONSIBILITY. WE RECOMMEND IN EMBANKMENT AREAS ONE PER LIFT AND/OR ONE PER 1,000 CUBIC YARDS.
- LIFT THICKNESS** - THE MAXIMUM LIFT THICKNESS UNDER PAVEMENTS, WALKS, AND STRUCTURAL FILLS SHALL BE 12 INCHES. HAND OPERATED COMPACTION FILLS SHALL NOT EXCEED 6 INCHES.
- PROOF ROLLING** - THE OWNER'S REPRESENTATIVE MAY REQUEST A PROOF ROLL (I.E. LOADED TEN WHEELER) OF SUBGRADE AREAS PRIOR TO PLACEMENT OF SUBBASE MATERIALS. AREAS THAT "FAIL" SHALL BE REMOVED AND REPLACED TO ACHIEVE A PASSING SUBGRADE.

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**SITE DEVELOPMENT PLANS**  
 for  
**MAIFLY DEVELOPMENT**  
 STATE OF NEW YORK  
 TOMPKINS COUNTY  
 INTERSECTION OF FREESE ROAD AND DRYDEN ROAD (STATE ROUTE 366)  
 TOWN OF DRYDEN

JOB NO:	1096-20
SCALE:	1"=30'
DRAWN:	AMF
DESIGNED:	AMF
DATE:	3/11/20

REVISIONS	
DATE	BY REVISION
8/28/20	AMF REVISIONS PER PLANNING BOARD COMMENTS
10/16/20	AMF REVISIONS PER PLANNING BOARD COMMENTS

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STATE OF NEW YORK  
 ADAM M. FISHEL  
 LICENSED PROFESSIONAL ENGINEER

DRAWING TITLE:  
**Grading, Drainage & Erosion Control Plan (2 of 2)**

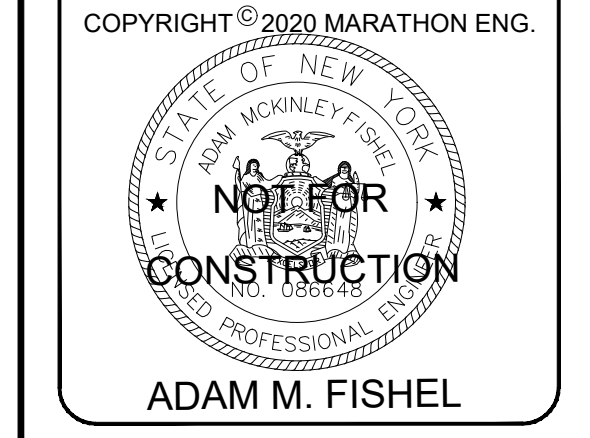
6 of 18	<b>C-3.1</b>
SHEET No:	
1096-20	
JOB No:	DRAWING No:

**SITE DEVELOPMENT PLANS**  
 for  
**MAIFLY DEVELOPMENT**  
 INTERSECTION OF FREESE ROAD AND DRYDEN ROAD (STATE ROUTE 366)  
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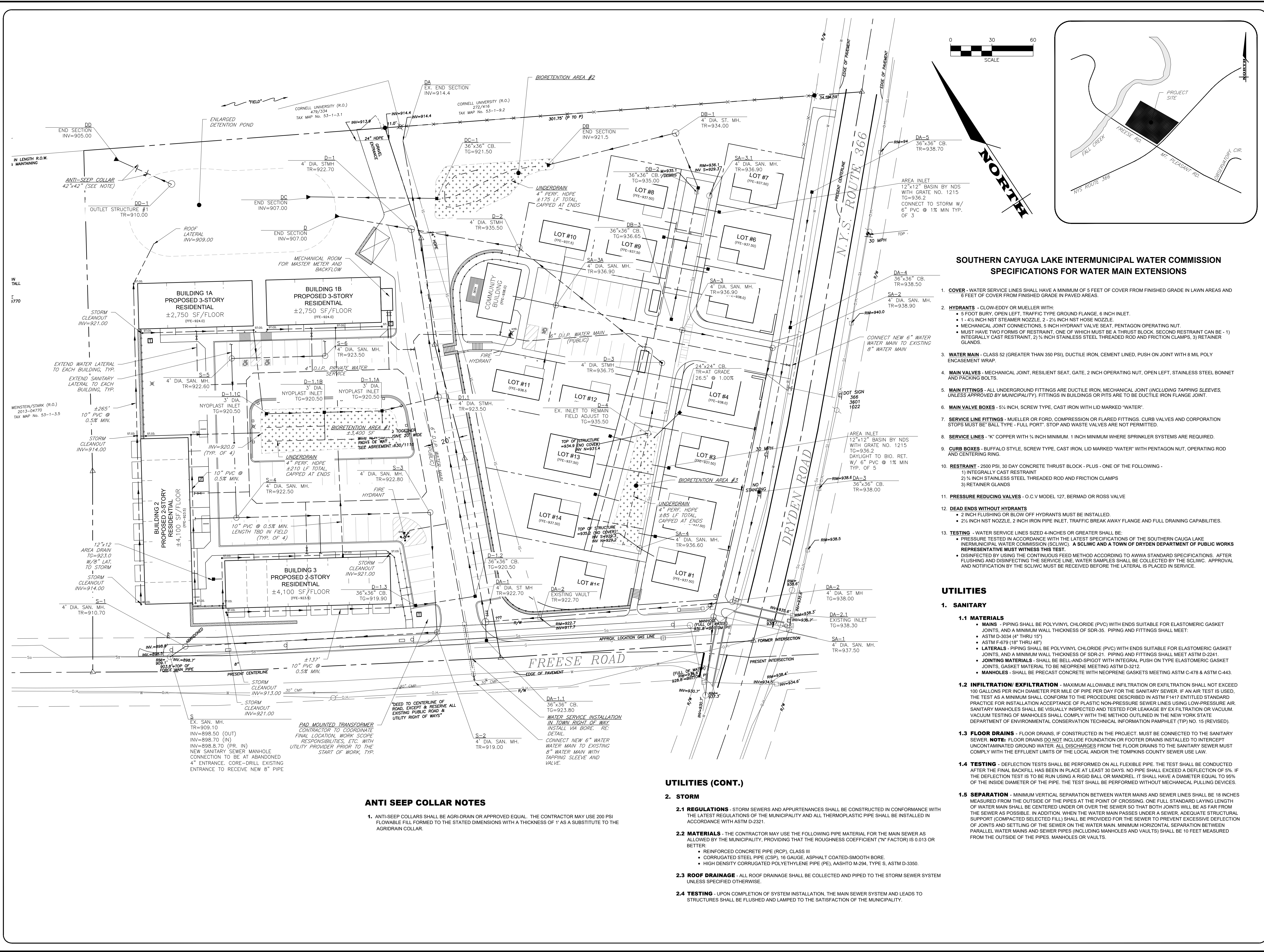
THIS IS A SEWERAGE PLAN FOR THE MAIFLY DEVELOPMENT, ITHACA, NY. THE DESIGNER HAS CONDUCTED VISUAL INSPECTIONS OF THE EXISTING SEWERAGE SYSTEM AND HAS FOUND IT TO BE IN GOOD CONDITION. THE DESIGNER HAS ASSUMED THAT THE EXISTING SEWERAGE SYSTEM IS IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION TECHNICAL INFORMATION PAMPHLET (TIP) NO. 15 (REVISED). THE DESIGNER HAS NOT CONDUCTED ANY TESTS OF THE EXISTING SEWERAGE SYSTEM. THE DESIGNER HAS ASSUMED THAT THE EXISTING SEWERAGE SYSTEM IS IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION TECHNICAL INFORMATION PAMPHLET (TIP) NO. 15 (REVISED). THE DESIGNER HAS NOT CONDUCTED ANY TESTS OF THE EXISTING SEWERAGE SYSTEM.



**DRAWING TITLE:**  
 Utility Plan  
 (1 of 2)

7 of 18  
 SHEET No: **C-4.0**

1096-20  
 JOB No: DRAWING No:



**SOUTHERN CAYUGA LAKE INTERMUNICIPAL WATER COMMISSION**  
**SPECIFICATIONS FOR WATER MAIN EXTENSIONS**

- COVER** - WATER SERVICE LINES SHALL HAVE A MINIMUM OF 5 FEET OF COVER FROM FINISHED GRADE IN LAWN AREAS AND 6 FEET OF COVER FROM FINISHED GRADE IN PAVED AREAS.
- HYDRANTS** - GLOW-EDDY OR MUELLER WITH:
  - 5 FOOT BURY, OPEN LEFT, TRAFFIC TYPE GROUND FLANGE, 6 INCH INLET.
  - 1-4 1/4 INCH NST STEAMER NOZZLE, 2-2 1/2 INCH NST HOSE NOZZLE.
  - MECHANICAL JOINT CONNECTIONS, 5 INCH HYDRANT VALVE SEAT, PENTAGON OPERATING NUT.
  - MUST HAVE TWO FORMS OF RESTRAINT, ONE OF WHICH MUST BE A THRUST BLOCK. SECOND RESTRAINT CAN BE - 1) INTEGRALLY CAST RESTRAINT, 2) 1/2 INCH STAINLESS STEEL THREADED ROD AND FRICTION CLAMPS, 3) RETAINER GLANDS.
- WATER MAIN** - CLASS 52 (GREATER THAN 350 PSI), DUCTILE IRON, CEMENT LINED, PUSH ON JOINT WITH 8 MIL POLY ENCASEMENT WRAP.
- MAIN VALVES** - MECHANICAL JOINT, RESILIENT SEAT, GATE, 2 INCH OPERATING NUT, OPEN LEFT, STAINLESS STEEL BONNET AND PACKING BOLTS.
- MAIN FITTINGS** - ALL UNDERGROUND FITTINGS ARE DUCTILE IRON, MECHANICAL JOINT (INCLUDING TAPPING SLEEVES, UNLESS APPROVED BY MUNICIPALITY), FITTINGS IN BUILDINGS OR PITS ARE TO BE DUCTILE IRON FLANGE JOINT.
- MAIN VALVE BOXES** - 5 1/2 INCH, SCREW TYPE, CAST IRON WITH LID MARKED "WATER".
- SERVICE LINE FITTINGS** - MUELLER OR FORD, COMPRESSION OR FLARED FITTINGS, CURB VALVES AND CORPORATION STOPS MUST BE "BALL TYPE - FULL PORT". STOP AND WASTE VALVES ARE NOT PERMITTED.
- SERVICE LINES** - "K" COPPER WITH 1/2 INCH MINIMUM, 1 INCH MINIMUM WHERE SPRINKLER SYSTEMS ARE REQUIRED.
- CURB BOXES** - BUFFALO STYLE, SCREW TYPE, CAST IRON, LID MARKED "WATER" WITH PENTAGON NUT, OPERATING ROD AND CENTERING RING.
- RESTRAINT** - 2500 PSI, 30 DAY CONCRETE THRUST BLOCK - PLUS - ONE OF THE FOLLOWING -
  - INTEGRALLY CAST RESTRAINT
  - 1/2 INCH STAINLESS STEEL THREADED ROD AND FRICTION CLAMPS
  - RETAINER GLANDS
- PRESSURE REDUCING VALVES** - O.C.V. MODEL 127, BERMAID OR ROSS VALVE
- DEAD ENDS WITHOUT HYDRANTS**
  - 2 INCH FLUSHING OR BLOW OFF HYDRANTS MUST BE INSTALLED.
  - 2 1/2 INCH NST NOZZLE, 2 INCH IRON PIPE INLET, TRAFFIC BREAK AWAY FLANGE AND FULL DRAINING CAPABILITIES.
- TESTING** - WATER SERVICE LINES SIZED 4-INCHES OR GREATER SHALL BE:
  - PRESSURE TESTED IN ACCORDANCE WITH THE LATEST SPECIFICATIONS OF THE SOUTHERN CAYUGA LAKE INTERMUNICIPAL WATER COMMISSION (SCLWC). A SCLWC AND A TOWN OF DRYDEN DEPARTMENT OF PUBLIC WORKS REPRESENTATIVE MUST WITNESS THIS TEST.
  - DISINFECTED BY USING THE CONTINUOUS FEED METHOD ACCORDING TO AWWA STANDARD SPECIFICATIONS. AFTER FLUSHING AND DISINFECTING OF THE SERVICE LINE, WATER SAMPLES SHALL BE COLLECTED BY THE SCLWC. APPROVAL AND NOTIFICATION BY THE SCLWC MUST BE RECEIVED BEFORE THE LATERAL IS DISPOSED IN SERVICE.

**UTILITIES**

**1. SANITARY**

- 1.1 MATERIALS**
- JOINTS** - PIPING SHALL BE POLYVINYL CHLORIDE (PVC) WITH ENDS SUITABLE FOR ELASTOMERIC GASKET JOINTS, AND A MINIMUM WALL THICKNESS OF SDR-35. PIPING AND FITTINGS SHALL MEET:
    - ASTM D-3034 (4" THRU 15")
    - ASTM F-679 (18" THRU 48")
  - LATERALS** - PIPING SHALL BE POLYVINYL CHLORIDE (PVC) WITH ENDS SUITABLE FOR ELASTOMERIC GASKET JOINTS, AND A MINIMUM WALL THICKNESS OF SDR-21. PIPING AND FITTINGS SHALL MEET ASTM D-2241.
  - JOINTING MATERIALS** - SHALL BE BELL-AND-SPIGOT WITH INTEGRAL PUSH ON TYPE ELASTOMERIC GASKET JOINTS, GASKET MATERIAL TO BE NEOPRENE MEETING ASTM D-3212.
  - MANHOLES** - SHALL BE PRECAST CONCRETE WITH NEOPRENE GASKETS MEETING ASTM C-478 & ASTM C-443.

- 1.2 INFILTRATION/EXFILTRATION** - MAXIMUM ALLOWABLE INFILTRATION OR EXFILTRATION SHALL NOT EXCEED 100 GALLONS PER INCH DIAMETER PER MILE OF PIPE PER DAY FOR THE SANITARY SEWER. IF AN AIR TEST IS USED, THE TEST AS A MINIMUM SHALL CONFORM TO THE PROCEDURE DESCRIBED IN ASTM F1417 ENTITLED STANDARD PRACTICE FOR INSTALLATION ACCEPTANCE OF PLASTIC NON-PRESSURE SEWER LINES USING LOW-PRESSURE AIR. SANITARY MANHOLES SHALL BE VISUALLY INSPECTED AND TESTED FOR LEAKAGE BY EX FILTRATION OR VACUUM. VACUUM TESTING OF MANHOLES SHALL COMPLY WITH THE METHOD OUTLINED IN THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION TECHNICAL INFORMATION PAMPHLET (TIP) NO. 15 (REVISED).
- 1.3 FLOOR DRAINS** - FLOOR DRAINS, IF CONSTRUCTED IN THE PROJECT, MUST BE CONNECTED TO THE SANITARY SEWER. **NOTE:** FLOOR DRAINS DO NOT INCLUDE FOUNDATION OR FOOTER DRAINS INSTALLED TO INTERCEPT UNCONTAMINATED GROUND WATER. ALL DISCHARGES FROM THE FLOOR DRAINS TO THE SANITARY SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND/OR THE TOMPKINS COUNTY SEWER USE LAW.

- 1.4 TESTING** - DEFLECTION TESTS SHALL BE PERFORMED ON ALL FLEXIBLE PIPE. THE TEST SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS. NO PIPE SHALL EXCEED A DEFLECTION OF 5% IF THE DEFLECTION TEST IS TO BE RUN USING A RIGID BALL OR MANDREL. IT SHALL HAVE A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE. THE TEST SHALL BE PERFORMED WITHOUT MECHANICAL PULLING DEVICES.

- 1.5 SEPARATION** - MINIMUM VERTICAL SEPARATION BETWEEN WATER MAINS AND SEWER LINES SHALL BE 18 INCHES MEASURED FROM THE OUTSIDE OF THE PIPES AT THE POINT OF CROSSING. ONE FULL STANDARD LAYING LENGTH OF WATER MAIN SHALL BE CENTERED UNDER OR OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. IN ADDITION, WHEN THE WATER MAIN PASSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT (COMPACTED SELECTED FILL) SHALL BE PROVIDED FOR THE SEWER TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING OF THE SEWER ON THE WATER MAIN. MINIMUM HORIZONTAL SEPARATION BETWEEN PARALLEL WATER MAINS AND SEWER PIPES (INCLUDING MANHOLES AND VAULTS) SHALL BE 10 FEET MEASURED FROM THE OUTSIDE OF THE PIPES, MANHOLES OR VAULTS.

**UTILITIES (CONT.)**

**2. STORM**

- 2.1 REGULATIONS** - STORM SEWERS AND APPURTENANCES SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE LATEST REGULATIONS OF THE MUNICIPALITY AND ALL THERMOPLASTIC PIPE SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D-2321.
- 2.2 MATERIALS** - THE CONTRACTOR MAY USE THE FOLLOWING PIPE MATERIAL FOR THE MAIN SEWER AS ALLOWED BY THE MUNICIPALITY, PROVIDING THAT THE ROUGHNESS COEFFICIENT (N FACTOR) IS 0.013 OR BETTER:
  - REINFORCED CONCRETE PIPE (RCP), CLASS III
  - CORRUGATED STEEL PIPE (CSP), 16 GAUGE, ASPHALT COATED-SMOOTH BORE.
  - HIGH DENSITY CORRUGATED POLYETHYLENE PIPE (PE), AASHTO M-294, TYPE S, ASTM D-3350.
- 2.3 ROOF DRAINAGE** - ALL ROOF DRAINAGE SHALL BE COLLECTED AND PIPED TO THE STORM SEWER SYSTEM UNLESS SPECIFIED OTHERWISE.
- 2.4 TESTING** - UPON COMPLETION OF SYSTEM INSTALLATION, THE MAIN SEWER SYSTEM AND LEADS TO STRUCTURES SHALL BE FLUSHED AND LAMPED TO THE SATISFACTION OF THE MUNICIPALITY.

**ANTI SEEP COLLAR NOTES**

- 1. ANTI-SEEP COLLARS SHALL BE AGRIDRAIN OR APPROVED EQUAL.** THE CONTRACTOR MAY USE 200 PSI FLOWABLE FILL FORMED TO THE STATED DIMENSIONS WITH A THICKNESS OF 1" AS A SUBSTITUTE TO THE AGRIDRAIN COLLAR.

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**SANITARY SEWER SCHEDULE**

STRUCTURE ID	STRUCTURE TYPE	TOP OF RIM	INVERT OUT	INVERT IN	LENGTH (FT)	PIPE DIA. & MAT'L	SLOPE (%)
S-2.4	PROPOSED 4' DIA. MANHOLE	923.50	917.06	-	68	6" PVC.	0.75%
S-2.3 TO S-2.3	PROPOSED 4' DIA. MANHOLE	922.60	916.15	916.55	116	6" PVC.	0.75%
S-2.2	PROPOSED 4' DIA. MANHOLE	922.50	915.48	915.58	141	6" PVC.	0.75%
S-2.1 TO S-2.1	PROPOSED 4' DIA. MANHOLE	922.80	914.42	-	86	6" PVC.	0.75%
S-6	EXISTING SAN. MANHOLE	929.00	929.18	929.28	161	8" PVC. (EX)	0.65%
S-5A	PROPOSED 4' DIA. MANHOLE	918.90	929.76	-	93	6" PVC.	1.00%
S-5.1	EXISTING SAN. MANHOLE	928.90	929.02	-	100	8" PVC. (EX)	0.89%
S-5	PROPOSED 4' DIA. MANHOLE	928.00	928.03	928.13	67	8" PVC.	0.40%
S-5 TO S-4	PROPOSED 4' DIA. MANHOLE	928.00	928.03	928.13	67	8" PVC.	0.40%
S-4	PROPOSED 4' DIA. MANHOLE	938.90	927.66	927.76	198	8" PVC.	0.40%
S-4 TO S-3	PROPOSED 4' DIA. MANHOLE	938.90	927.66	927.76	198	8" PVC.	0.40%
S-3	PROPOSED 4' DIA. MANHOLE	937.50	926.77	926.87	202	8" PVC.	6.50%
S-3 TO S-2	PROPOSED 4' DIA. MANHOLE	937.50	926.77	926.87	202	8" PVC.	6.50%
S-2	PROPOSED 4' DIA. MANHOLE	919.00	913.58	913.68	181	8" PVC.	7.50%
S-2 TO S-1	PROPOSED 4' DIA. MANHOLE	919.00	913.58	913.68	181	8" PVC.	7.50%
S-1 TO S	PROPOSED 4' DIA. MANHOLE	910.70	899.90	900.00	16	8" PVC.	7.50%
S	EXISTING SAN. MANHOLE	909.10	898.50	898.70	-	-	-

NOTES:  
 (1) INVERT ELEVATION OF EXISTING SANITARY SEWER SHOWN IS APPROXIMATE. CONTRACTOR TO CONFIRM PRIOR TO THE START OF WORK.

**DRAINAGE SCHEDULE (D)**

STRUCTURE DESIGNATIONS		FROM	TO	DIA. (IN)	PIPE MAT'L	LENGTH (FT)	SLOPE (%)
INMH	D-4	D-3					
TG=		935.50					
INV=		930.89	929.89	18	HDPE	50	2.00%
MH4	D-3	D-2					
TR=		936.75					
INV=		929.89	927.21	18	HDPE	134	2.00%
MHG DROP	D-2	D-1					
TR=		935.50					
INV=		919.21	912.89	18	HDPE	79	8.00%
24x24 CB	D-1.3	D-1.2					
TG=		919.90					
INV=		915.96	915.53	12	HDPE	43	1.00%
24x24 CB	D-1.2	D-1.1					
TG=		920.50					
INV=		915.53	914.12	12	HDPE	141	1.00%
INMH	D-1.1C	D-1.1B					
TG=		920.50					
INV=		915.06	914.75	12	HDPE	42	0.75%
INMH	D-1.1B	D-1.1A					
TG=		920.50					
INV=		914.75	914.43	12	HDPE	42	0.75%
INMH	D-1.1A	D-1.1					
TG=		920.50					
INV=		914.43	914.12	15	HDPE	41	0.76%
MH4	D-1.1	D-1					
TR=		923.50					
INV=		914.12	912.89	18	HDPE	124	1.00%
MH-4	D-1	D					
TR=		922.70					
INV=		912.89	910.00	18	HDPE	38	7.60%
ES	D						
INV=		910.00					

**DRAINAGE SCHEDULE (DA)**

STRUCTURE DESIGNATIONS		FROM	TO	DIA. (IN)	PIPE MAT'L	LENGTH (FT)	SLOPE (%)
36x36CB	DA-5	DA-4					
TG=		938.70					
INV=		934.27	933.28	12	HDPE	100	1.00%
36x36CB	DA-4	DA-3					
TG=		938.50					
INV=		933.28	932.06	18	HDPE	122	1.00%
36x36CB	DA-3	DA-2					
TG=		938.00					
INV=		932.06	931.24	18	HDPE	82	1.00%
EX. CB	DA-2.1	DA-2					
TG=		938.30					
INV=		935.60	932.05	24	HDPE	44	8.00%
INMH4	DA-2	DA-1					
TG=		938.00					
INV=		928.24	917.00	24	HDPE	140	8.00%
36x36CB	DA-1.1	DA-1					
TG=		920.80					
INV=		917.12	917.00	18	HDPE	16	0.75%
MH4	DA-1	DA					
TR=		921.50					
INV=		916.50	914.40	30	HDPE	355	1.00%
ES	DA						
INV=		914.40					

**DRAINAGE SCHEDULE (DB)**

STRUCTURE DESIGNATIONS		FROM	TO	DIA. (IN)	PIPE MAT'L	LENGTH (FT)	SLOPE (%)
36x36CB	DB-3	DB-2					
TG=		936.65					
INV=		930.78	926.94	15	HDPE	96	4.00%
36x36CB	DB-2	DB-1					
TG=		935.00					
INV=		926.94	925.22	18	HDPE	43	4.00%
MH4	DB-1	DB					
TR=		934.00					
INV=		925.22	921.50	24	HDPE	93	4.00%
ES	DB						
INV=		921.50					

**DRAINAGE SCHEDULE (DC)**

STRUCTURE DESIGNATIONS		FROM	TO	DIA. (IN)	PIPE MAT'L	LENGTH (FT)	SLOPE (%)
36x36 CB	DC-1	DC					
TG=		921.50					
INV=		911.50	907.00	24	HDPE	75	6.00%
ES	DC						
INV=		907.00					

**DRAINAGE SCHEDULE (DD)**

STRUCTURE DESIGNATIONS		FROM	TO	DIA. (IN)	PIPE MAT'L	LENGTH (FT)	SLOPE (%)
OS1	DD-1	DD					
TR=		910.00					
INV=		906.01	905.00	12	HDPE	42	2.40%
ES	DD-1						
INV=		905.00					



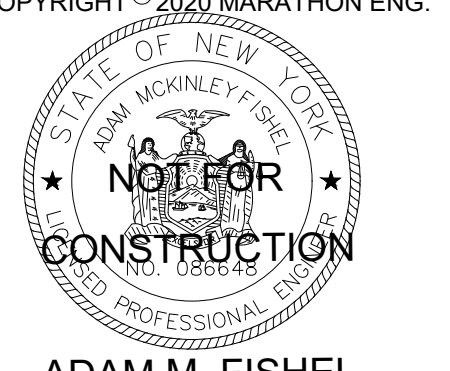
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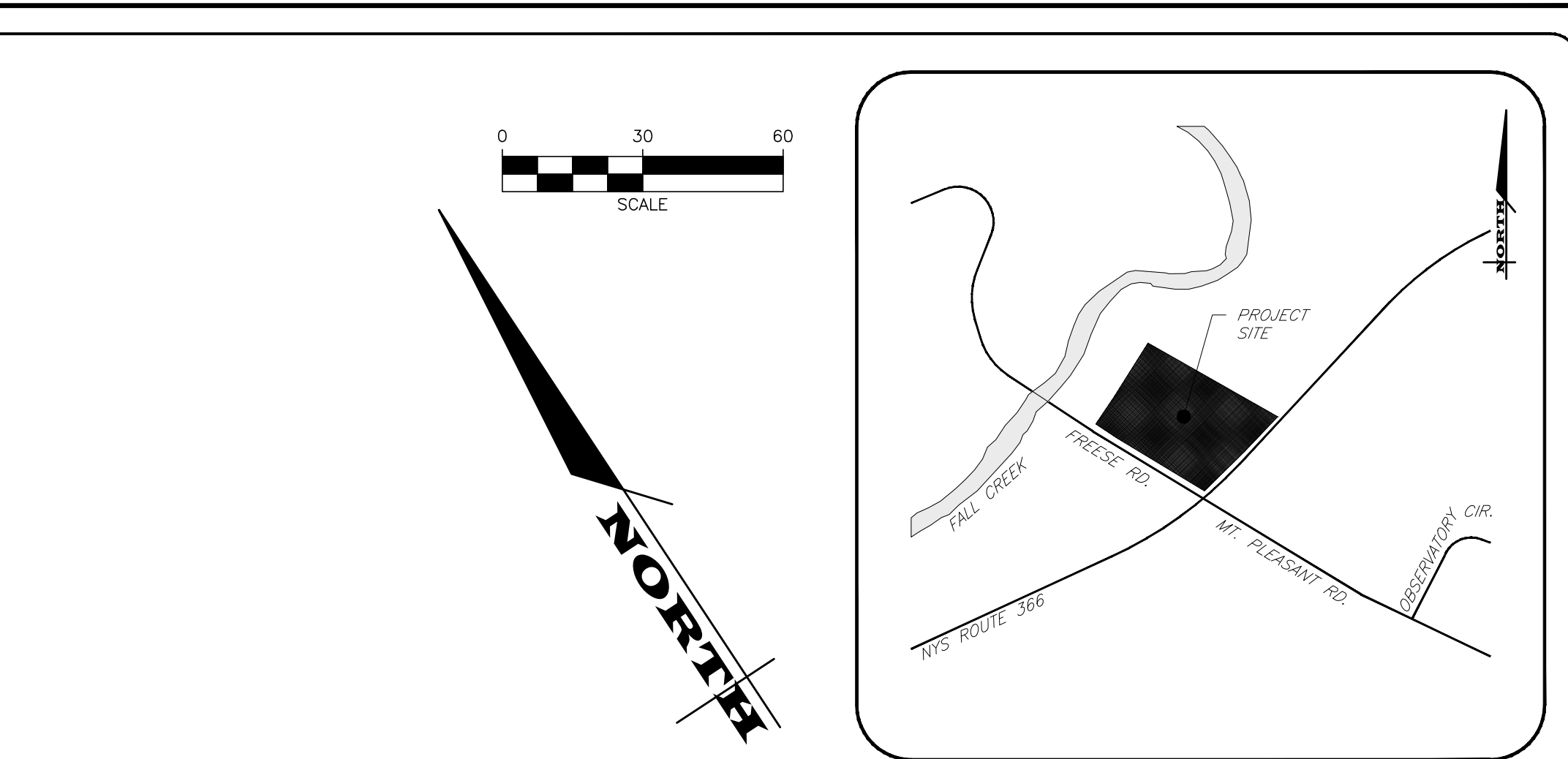
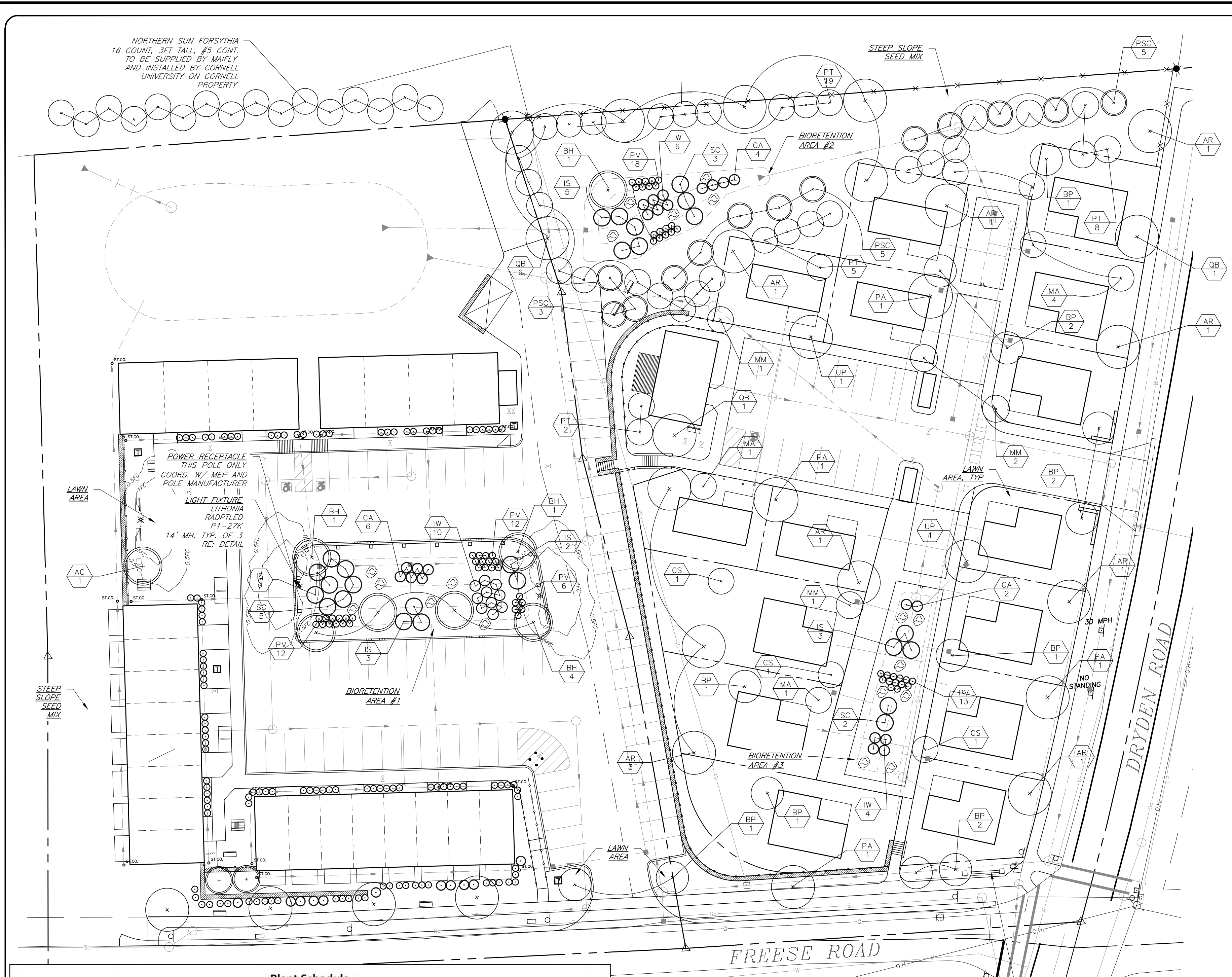


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 Utility Plan  
 (2 of 2)

8 of 18  
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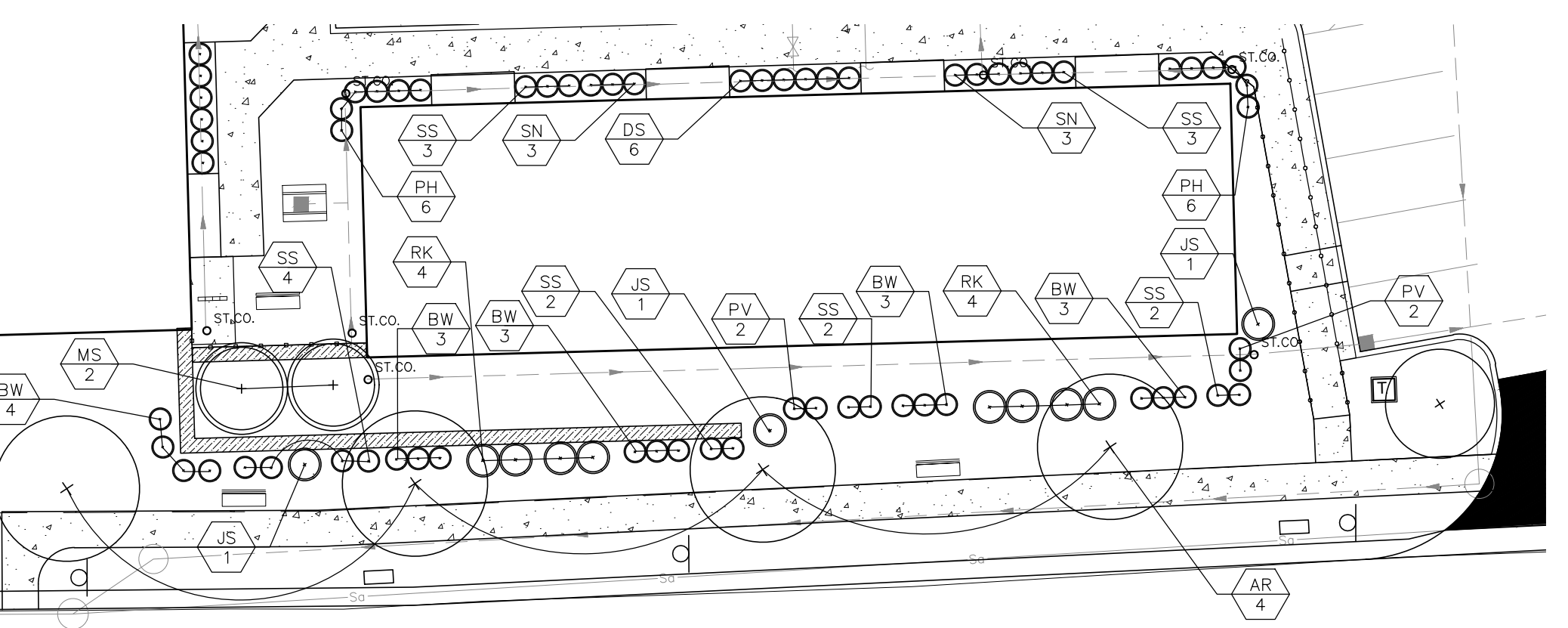
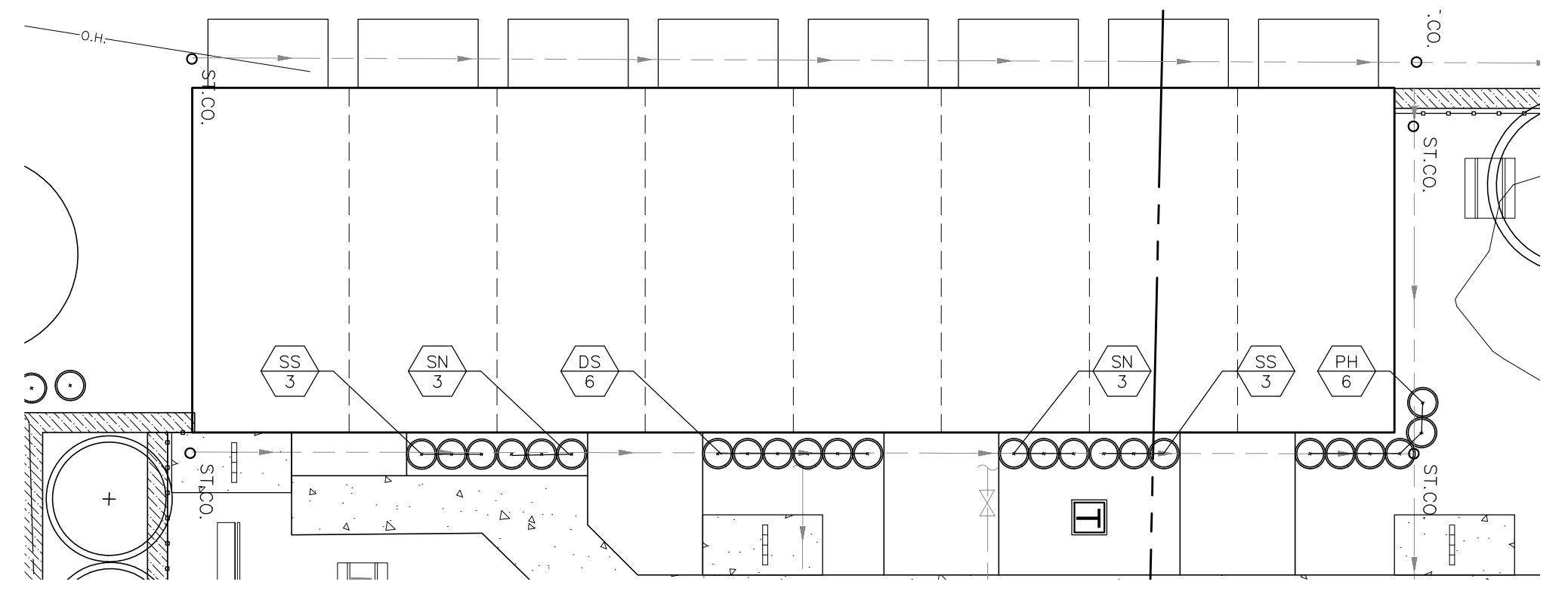
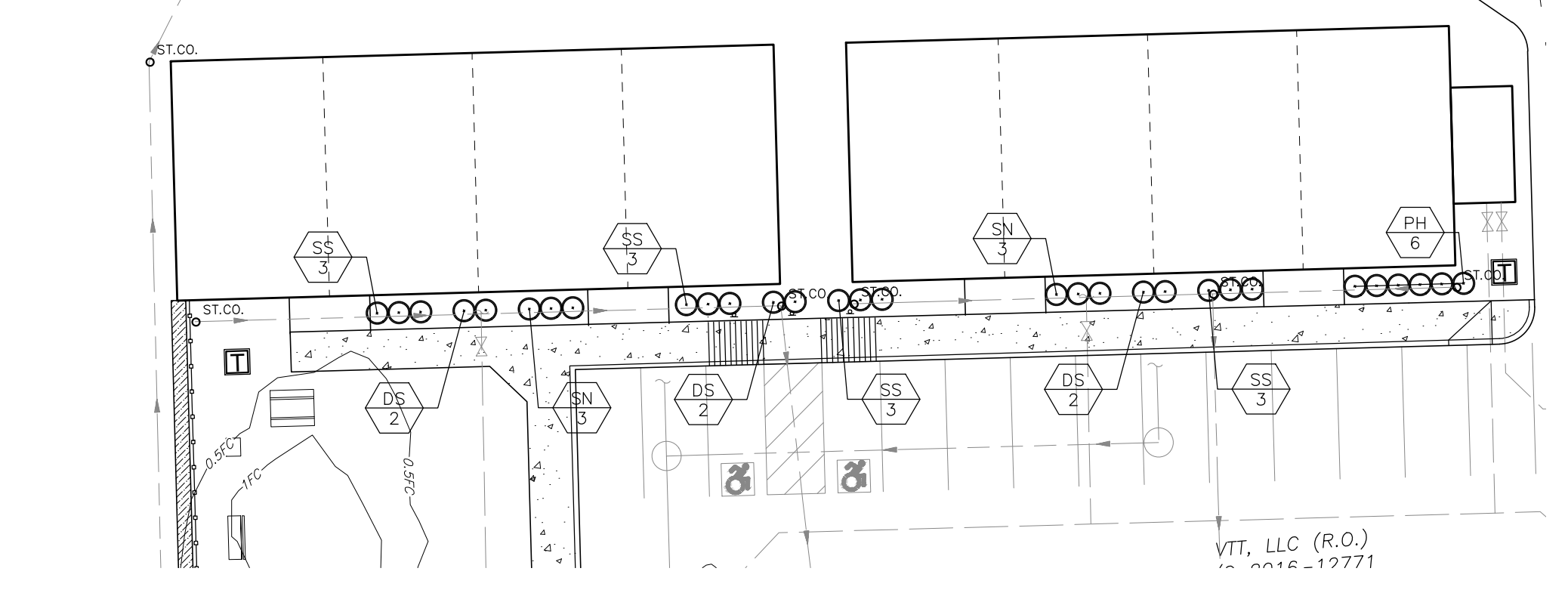


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 STATE OF NEW YORK

Plant Schedule					
Key	Botanical Name	Common Name	Quantity	Planted Size	Remarks
PSC	PINUS STROBUS	EASTERN WHITE PINE	13	2"	
CS	CRATAEGUS SPP.	WASHINGTON HAWTHORN	3	#7 CONTAINER 2" CALIPER	
MM	MAGNOLIA MACROPHYLLA	BIGLEAF MAGNOLIA	4	1.5"	
MA	MALLUS 'CORTLAND'	CORTLAND APPLE	6	1.5"	
AR	ACER RUBRUM	RED MAPLE	14	2-1/2" CALIPER	
BP	BETULA PENDULA	WEeping BIRCH	11	2" CALIPER	
PA	PLATANUS ACERIFOLIA	LONDON PLANE TREE	4	2" CALIPER	
PT	POPULUS TREMULA 'ERECTA'	COLUMNAR SWEDISH ASPEN	34	8' TALL	
QB	QUERCUS BICOLOR	SWAMP WHITE OAK	8	2"	
UP	ULMUS PARVIFOLIA	CHINESE ELM	2	2-1/2" CALIPER	
BW	BUXUS MICRO 'WINTER GEM'	WINTER GEM BOXWOOD	10	18" SPR	
DS	DESCHAMPSIA CAES. 'SCOTLAND'	SCOTLAND TUFTED HAIRGRASS	18	CLUMP	#2 CONT.
JS	JUNIPERUS CHIN. 'SPARTAN'	SPARTAN JUNIPER	3	5-6' HT	
PH	PENNISETUM ALOP. 'HAMELN'	HAMELN FOUNTAIN GRASS	24	CLUMP	#2 CONT.
PV	SPANICUM VIRG. 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	4	CLUMP	#2 CONT.
RK	ROSA 'KNOCKOUT'	KNOCKOUT ROSE	4	18" HT	#3 CONT.
MS	SPIRAEA X. 'NEON FLASH'	NEON FLASH SPIRAEA	18	15-18" SPR	#3 CONT.
SN	MALLUS 'SENTINEL'	SENTINEL CRABAPPLE	2	2-2-1/2" CA	B&B
SS	SPIRAEA JAP. 'SHIROBANA'	SHIROBANA SPIRAEA	30	15-18" SPR	#3 CONT.
BH	BETULA NIGRA 'HERITAGE'	HERITAGE BIRCH	6	8-10' HT	
IW	ILEX VERT. 'WINTER RED'	WINTER RED WINTERBERRY	10	36" HT	
CA	CORNUS A MOMUM	SILKY DOGWOOD	6	36" HT	
IS	ILEX VERT. 'SOUTHERN GENTLEMAN'	SOUTHERN GENTLEMAN WINTER BERRY	7	36" HT	
SC	SAMBUCUS CANADENSIS 'JOHNS'	JOHN'S AMERICAN ELDER BERRY	5	36" HT	
PV	PANICUM BIRG. 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	30	CLUMP	
BH	BETULA NIGRA 'HERITAGE'	HERITAGE BIRCH	1	36" HT	
IW	ILEX VERT. 'WINTER RED'	WINTER RED WINTERBERRY	6	36" HT	
CA	CORNUS A MOMUM	SILKY DOGWOOD	4	36" HT	
IS	ILEX VERT. 'SOUTHERN GENTLEMAN'	SOUTHERN GENTLEMAN WINTER BERRY	5	36" HT	
SC	SAMBUCUS CANADENSIS 'JOHNS'	JOHN'S AMERICAN ELDER BERRY	3	36" HT	
PV	PANICUM BIRG. 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	18	CLUMP	
IW	ILEX VERT. 'WINTER RED'	WINTER RED WINTERBERRY	4	36" HT	
CA	CORNUS A MOMUM	SILKY DOGWOOD	2	36" HT	
IS	ILEX VERT. 'SOUTHERN GENTLEMAN'	SOUTHERN GENTLEMAN WINTER BERRY	3	36" HT	
SC	SAMBUCUS CANADENSIS 'JOHNS'	JOHN'S AMERICAN ELDER BERRY	2	36" HT	
PV	PANICUM BIRG. 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	13	CLUMP	

- RESTORATION AND LANDSCAPING**
- GUARANTEE** - THE AGREEMENT BETWEEN THE OWNER AND CONTRACTOR SHALL DEFINE THE REQUIREMENTS, MAINTENANCE, AND TIME TO ESTABLISH NEW TURF AND LANDSCAPING ACCEPTANCE BY THE OWNER.
  - TOPSOIL** - PLACE A MINIMUM OF 4 INCHES (REQUIRED) OF TOPSOIL ON ALL DISTURBED SURFACES. FINE GRADE TO ESTABLISH THE DESIGN ELEVATIONS AND DRAINAGE PATTERNS. OBTAIN OWNER'S REPRESENTATIVE APPROVAL PRIOR TO SEEDING.
  - SEED** - LAWN AREAS SHALL BE HYDROSEEDED WITH AN APPROVED, SEED MIXTURE, MULCH, AND FERTILIZER. THE APPLICATION RATE SHALL BE DETERMINED BY CONTRACTOR TO ESTABLISH A "STANDY" OF GRASS. THE CONTRACTOR SHALL SUBMIT MATERIAL AND APPLICATION SPECIFICATIONS TO THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO APPLICATION.
  - PLANT STOCK** - PLANT MATERIALS SHALL BE IN ACCORDANCE WITH "AMERICAN STANDARD FOR NURSERY STOCK". THE CONTRACTOR SHALL SUBMIT PLANT MATERIAL SPECIFICATIONS TO THE OWNER'S ON-SITE REPRESENTATIVE FOR APPROVAL PRIOR TO DELIVERY TO THE SITE.
  - PLANT LOCATIONS** - THE PLANT LOCATIONS DEPICTED ON THE PLAN MAY BE FIELD ADJUSTED (SO THEY DO NOT INTERFERE WITH UTILITIES) AND TO THE SATISFACTION OF OWNER'S REPRESENTATIVE.
  - PLANTING BEDS** - PROVIDE TWELVE INCHES (12") OF TOPSOIL, WEED FABRIC (AS DIRECTED BY OWNER), AND THREE INCHES (3") OF MULCH AT PLANTING BEDS, UNLESS SPECIFIED OTHERWISE ON DRAWINGS.



JOB NO: 1096-20  
 SCALE: 1"=30'  
 DRAWN: AMF  
 DESIGNED: AMF  
 DATE: 3/04/20

REVISIONS		
DATE	BY	REVISION
8/28/20	AMF	REVISIONS PER PLANNING BOARD COMMENTS
10/16/20	AMF	REVISIONS PER PLANNING BOARD COMMENTS

10 A REGISTERED PROFESSIONAL ENGINEER HAS REVIEWED THIS DRAWING FOR CONFORMANCE WITH THE ENGINEERING PROFESSIONAL DESIGN ACT AND THE ENGINEERING PROFESSIONAL DESIGN REGULATIONS. THE ENGINEER'S REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE DRAWING AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE ENGINEER'S REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE DRAWING AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED HEREON.

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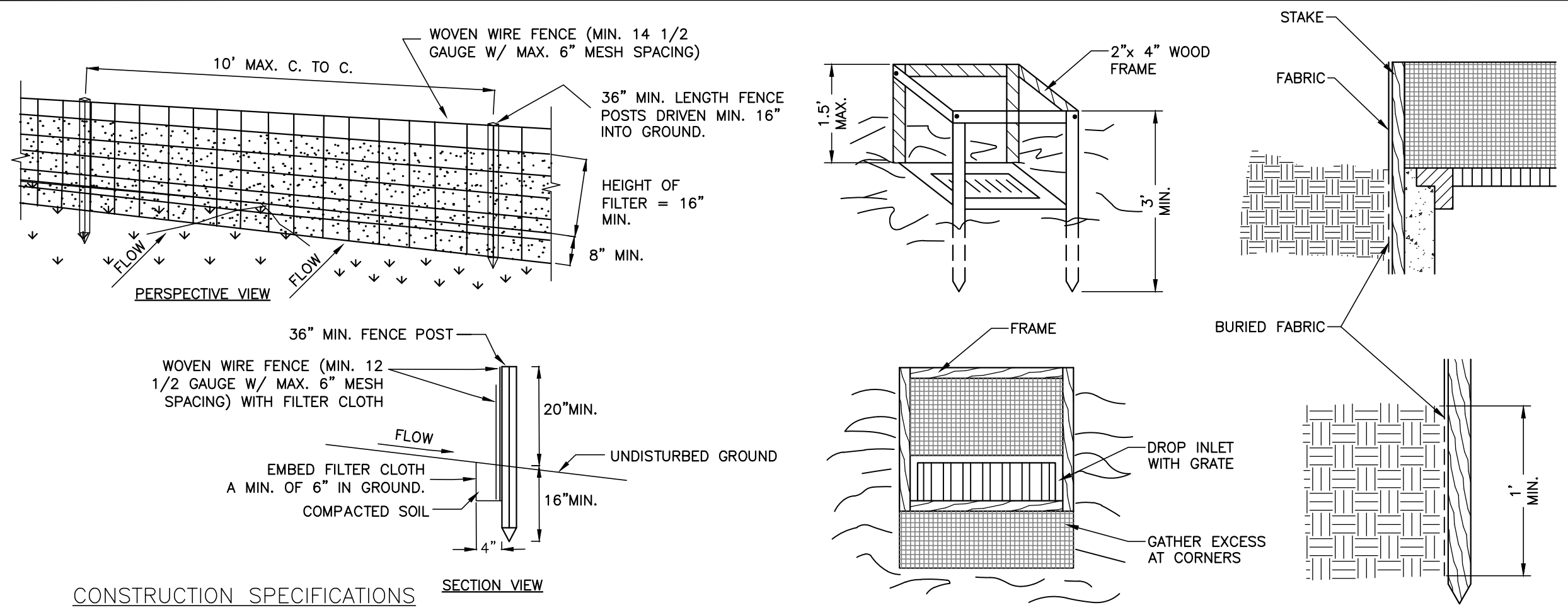
STATE OF NEW YORK  
 ADAM M. FISHEL  
 REGISTERED PROFESSIONAL ENGINEER

DRAWING TITLE:  
**Lighting & Landscaping Plan**

9 of 18  
 SHEET No: **C-5.0**

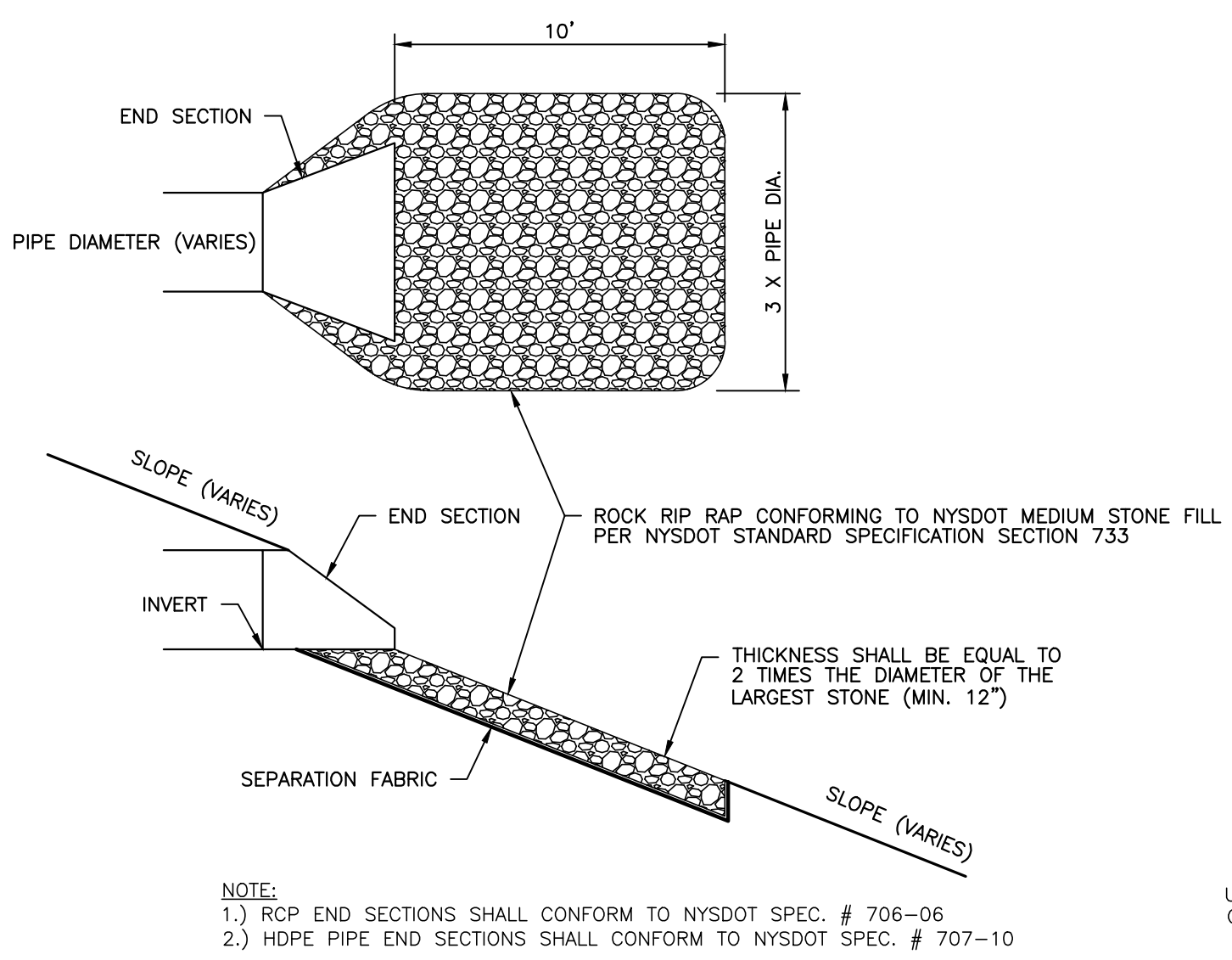
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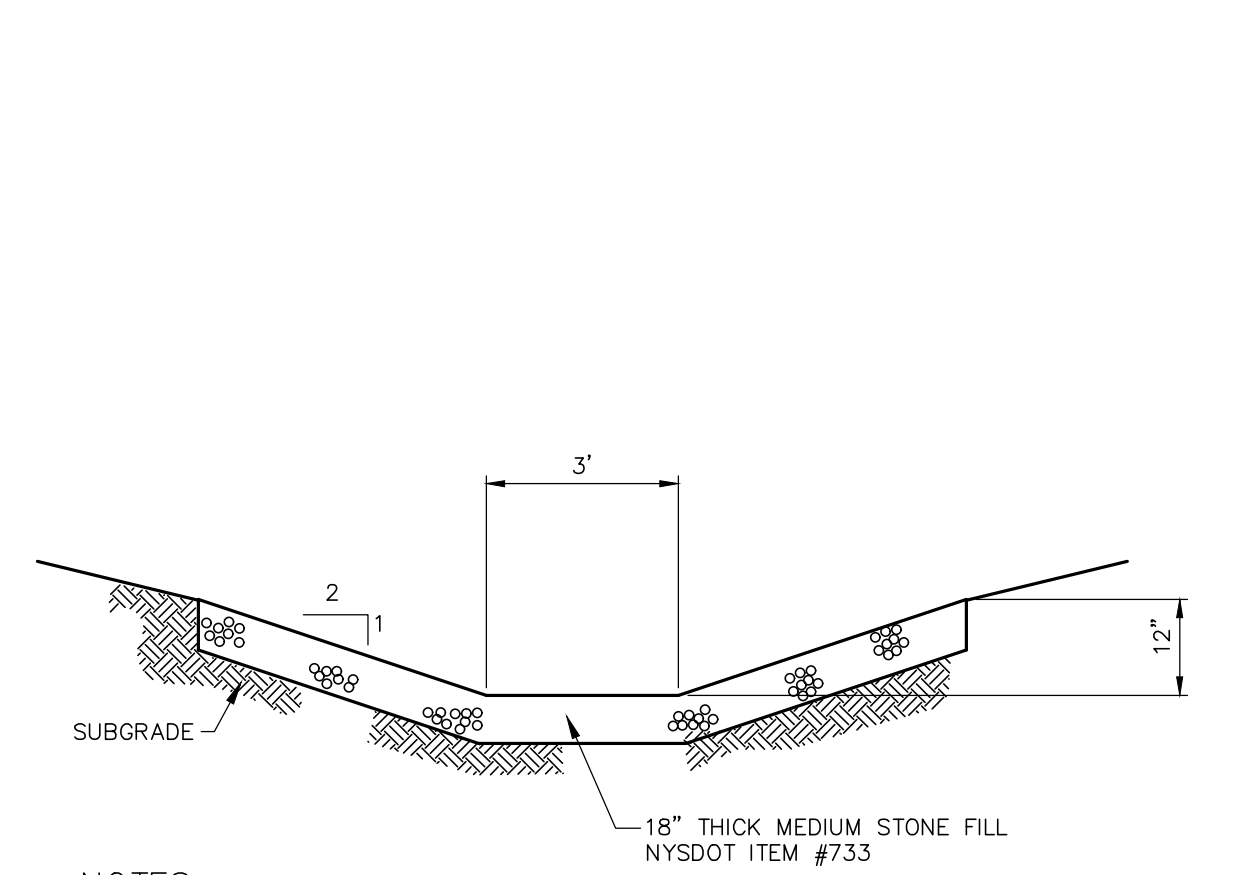


- CONSTRUCTION SPECIFICATIONS**
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL "T" OR "U" TYPE OF HARDWOOD.
  - FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
  - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
  - PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
  - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
  - ENVIRO-FENCE WITH INTEGRAL MESH IS ACCEPTABLE SUBSTITUTE.

**3 SILT FENCE**  
SCALE: N.T.S.

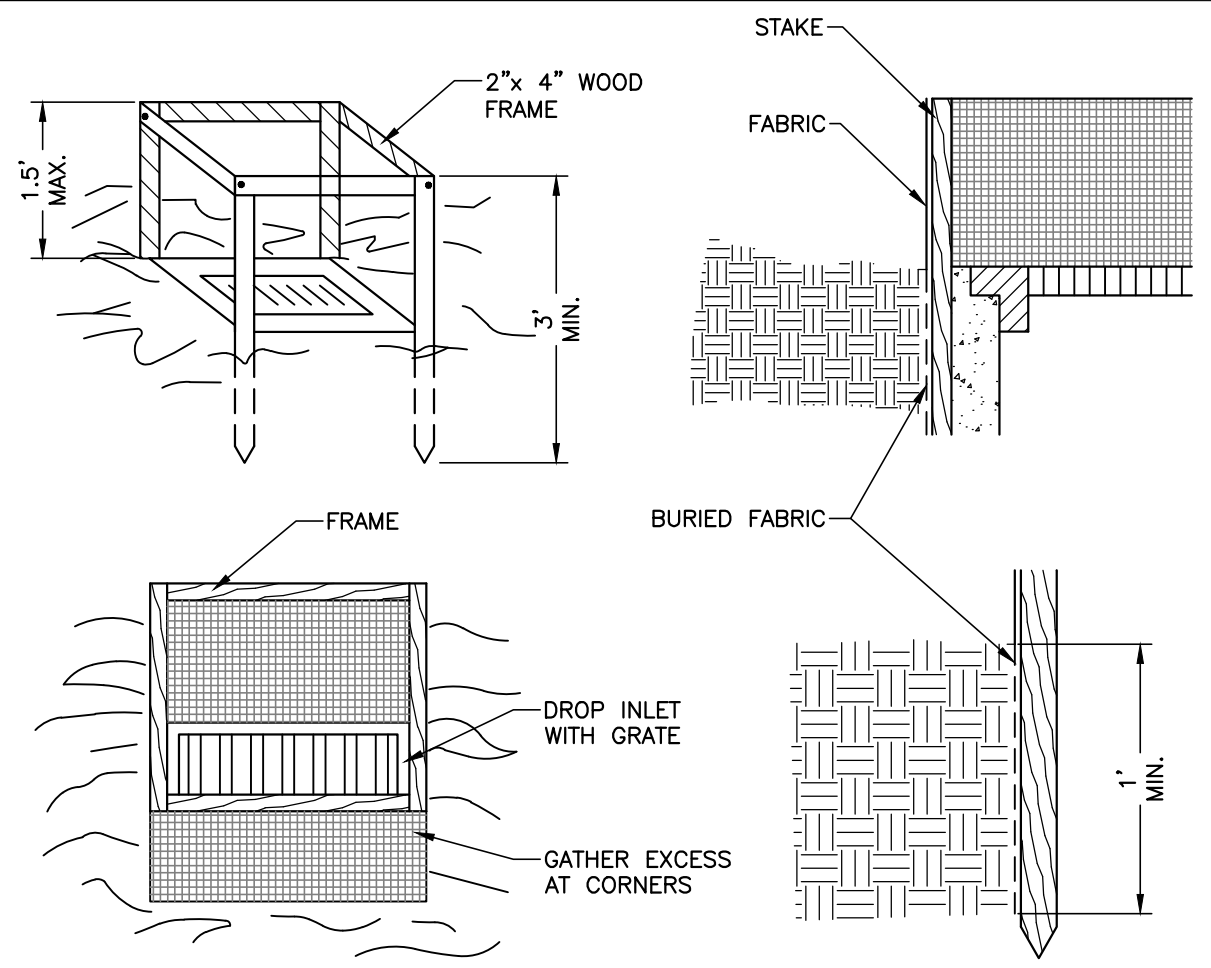


**6 PIPE OUTLET PROTECTION**  
SCALE: N.T.S.



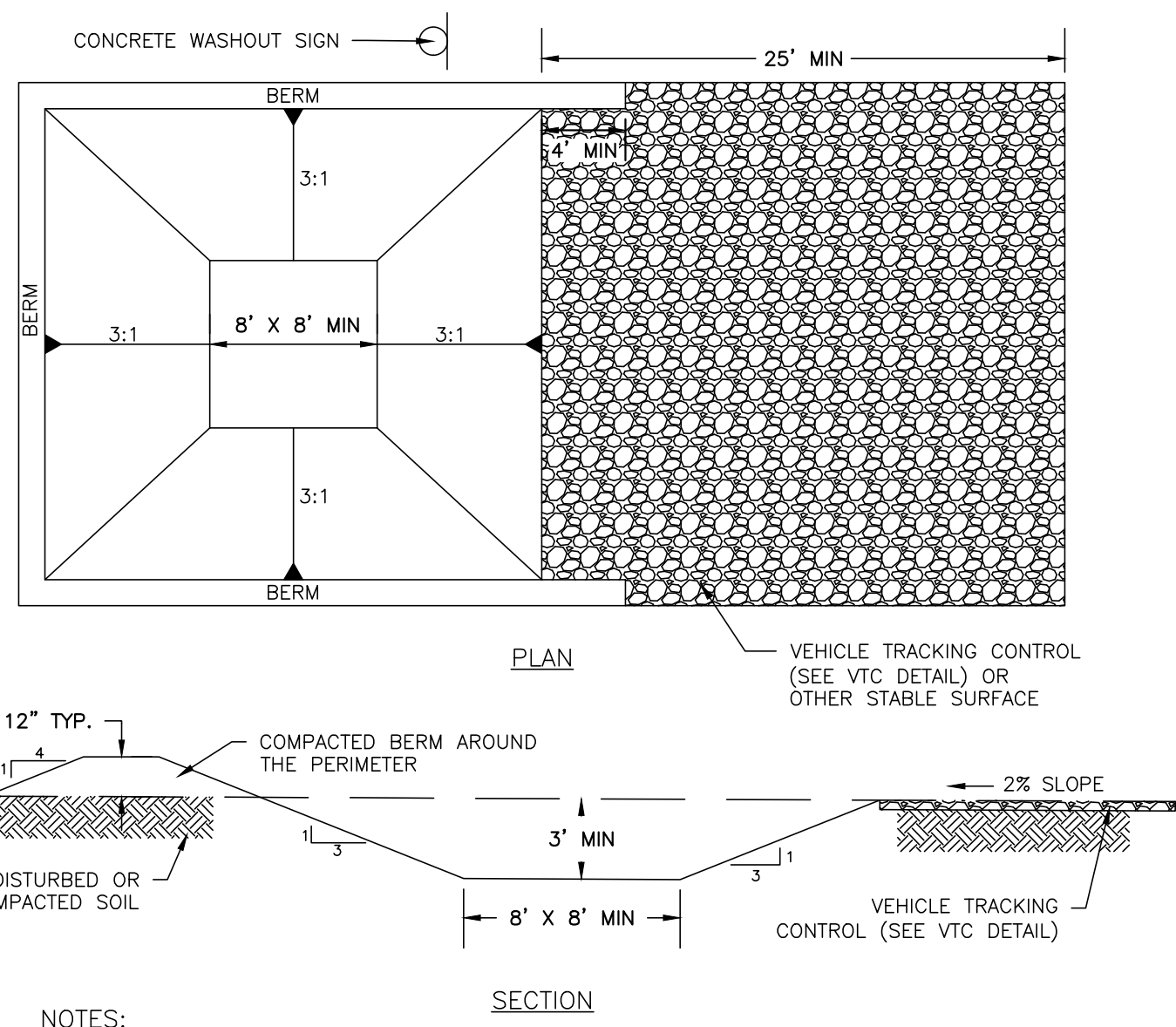
- NOTES:**
- GRADE SUBGRADE BELOW RIP-RAP PAD SMOOTHLY BEFORE PLACING THE STONES.
  - PLACE SEPARATION FABRIC UPON SUITABLE SUBGRADE PRIOR TO PLACEMENT OF STONES.

**7 STONE OUTLET PROTECTION**



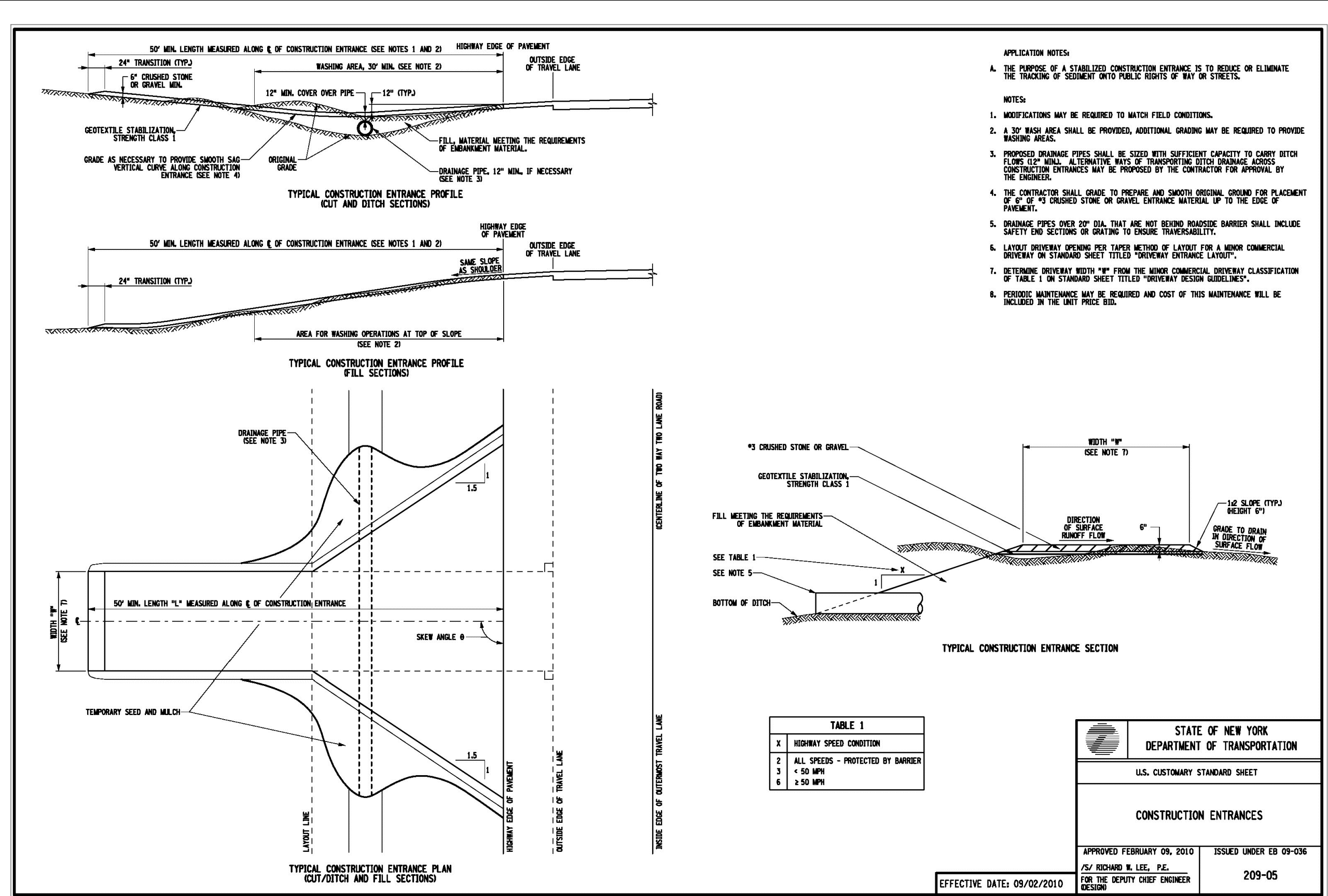
- CONSTRUCTION SPECIFICATIONS**
- FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
  - CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
  - STAKE MATERIALS WILL BE STANDARD 2" x 4" WOOD OR EQUIVALENT METAL WITH A MINIMUM LENGTH OF 3 FEET.
  - SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM OF 18 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
  - FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
  - A 2" x 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY.

**2 DROP INLET PROTECTION**  
SCALE: N.T.S.

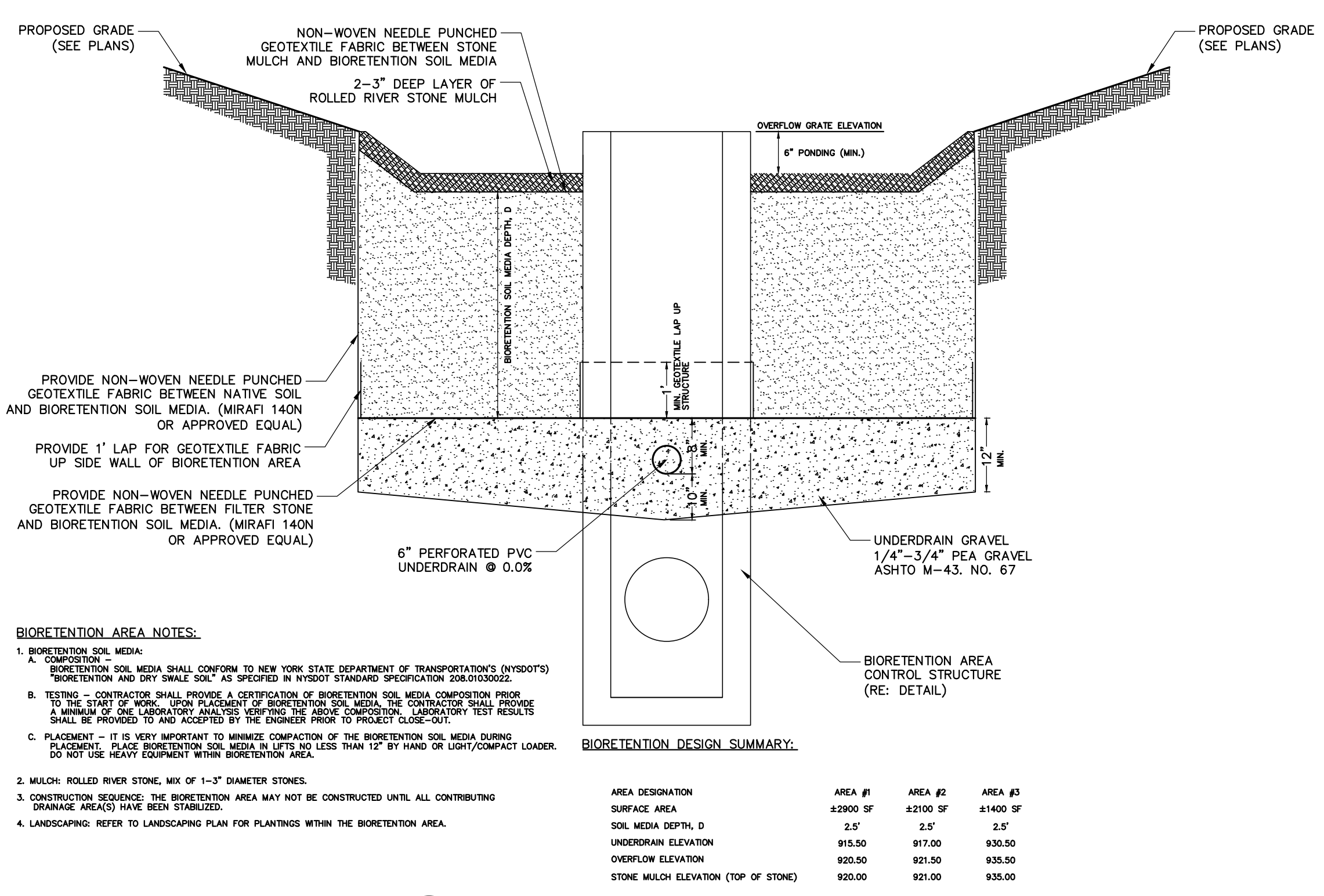


- NOTES:**
- CONTRACTOR TO VERIFY SIZE REQUIREMENTS BASED ON ANTICIPATED VOLUMES OF CONCRETE WASHOUT.
  - CONCRETE WASHOUT SHOULD BE PLACED TO NOT ACCEPT SURFACE RUNOFF.
  - IF WATER DOES NOT EVAPORATE AND IS GREATER THAN 75% FULL CONTRACTOR SHALL REMOVE LIQUIDS AS REQUIRED BY THE LOCAL AUTHORITY (SAN SEALER OF VAC TRUCK).
  - PROVIDE MINIMUM AGGREGATE OF 10 MIL PLASTIC AS LINER. SECURE LINER TO PREVENT INFILTRATION & REPLACE AS NECESSARY FOR TEARS.

**5 CONCRETE WASHOUT AREA**



**1 STABILIZED CONSTRUCTION ENTRANCE/EXIT**



**4 BIORETENTION AREA**  
SCALE: N.T.S.

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STATE OF NEW YORK  
TOWN OF DRYDEN  
TOMPKINS COUNTY  
INTERSECTION OF FREESE ROAD AND DRYDEN ROAD (STATE ROUTE 366)

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DRAWN: AXA  
DESIGNED: AMF  
DATE: 7/30/20

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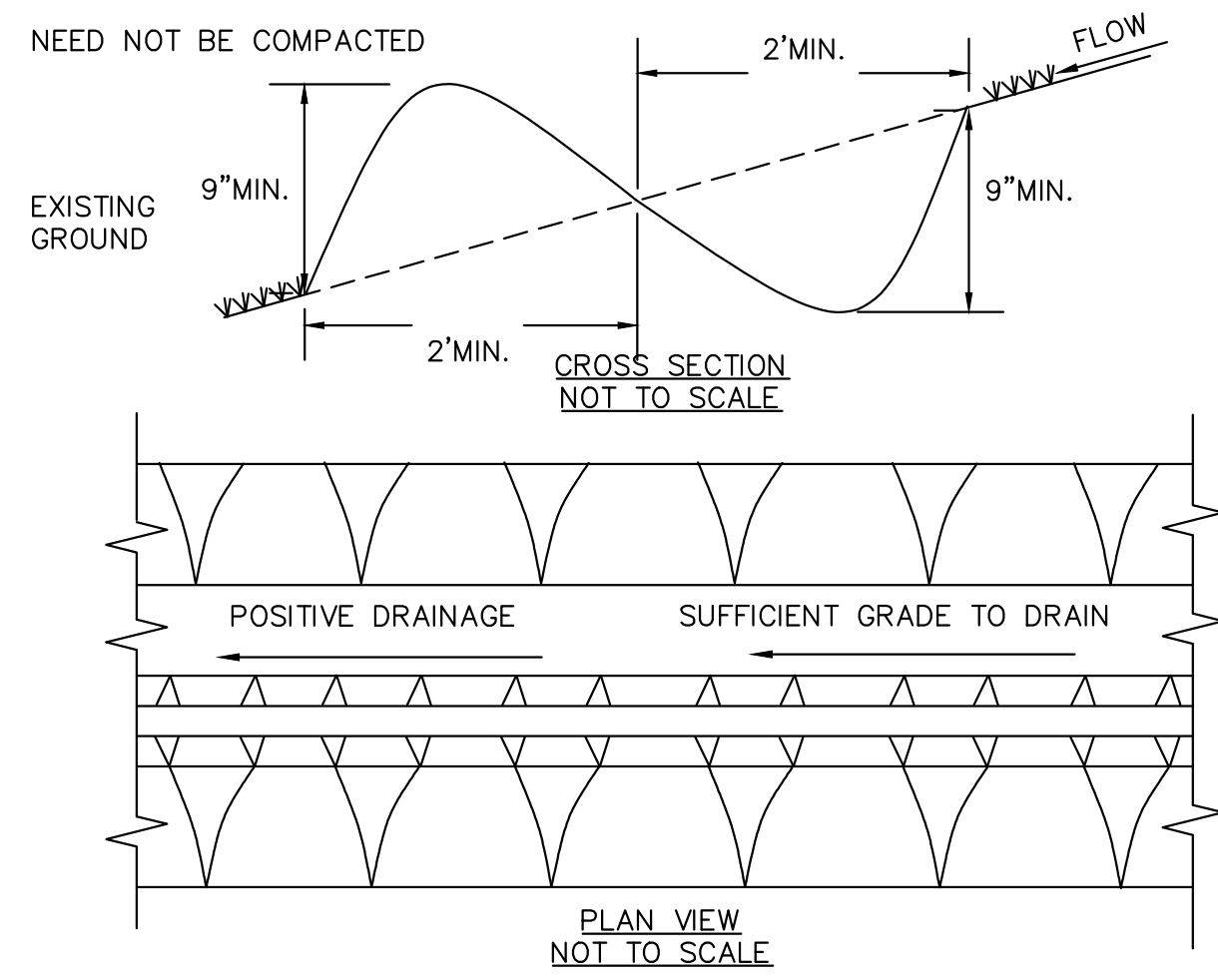
DATE	BY	REVISION

STATE OF NEW YORK  
ADAM M. FISHEL  
REGISTERED PROFESSIONAL ENGINEER  
NO. 08864

**DRAWING TITLE:**  
Details Sheet  
(1 of 5)

10 of 18  
SHEET No: **C-6.0**

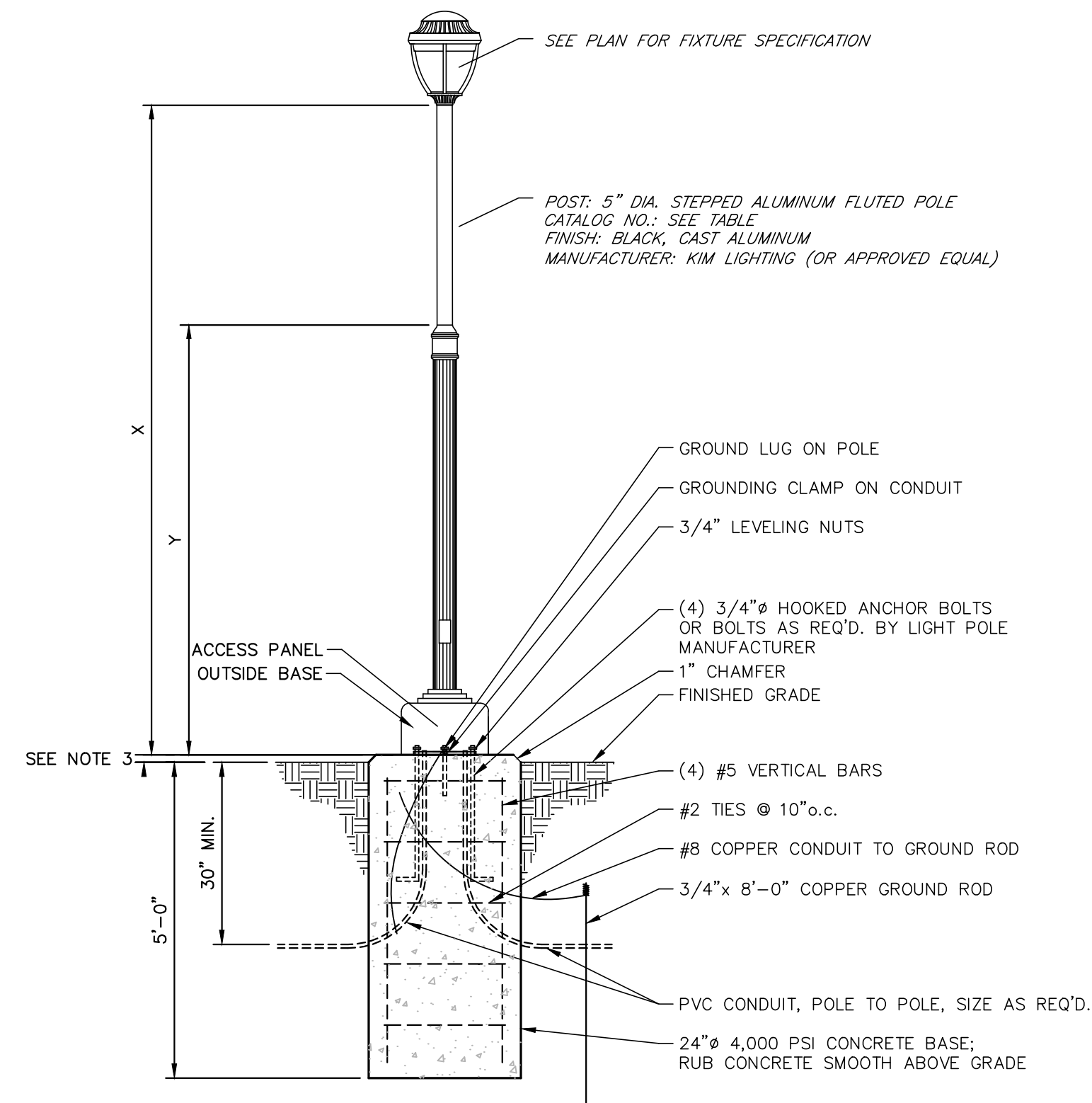
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JOB No: DRAWING No:



### CONSTRUCTION SPECIFICATIONS

- ALL PERIMETER DIKE/SWALE SHALL HAVE UNINTERRUPTED POSITIVE GRADE TO AN OUTLET.
  - DIVERTED RUNOFF FROM A DISTURBED AREA SHALL BE CONVEYED TO A SEDIMENT TRAPPING DEVICE.
  - DIVERTED RUNOFF FROM AN UNDISTURBED AREA SHALL OUTLET INTO AN UNDISTURBED STABILIZED AREA AT NON-EROSION VELOCITY.
  - THE SWALE SHALL BE EXCAVATED OR SHAPED TO LINE GRADE, AND CROSS SECTION AS REQUIRED TO MEET THE CRITERIA SPECIFIED IN THE STANDARD.
  - STABILIZATION OF THE AREA DISTURBED BY THE DIKE AND SWALE SHALL BE DONE IN ACCORDANCE WITH THE STANDARD AND SPECIFICATIONS FOR TEMPORARY SEEDING AND MULCHING, AND SHALL BE DONE WITHIN 10 DAYS.
  - PERIODIC INSPECTION AND REQUIRED MAINTENANCE MUST BE PROVIDED AFTER EACH RAIN EVENT.
- MAX. DRAINAGE AREA LIMIT: 2 ACRES

## 9 PERIMETER DIKE/SWALE

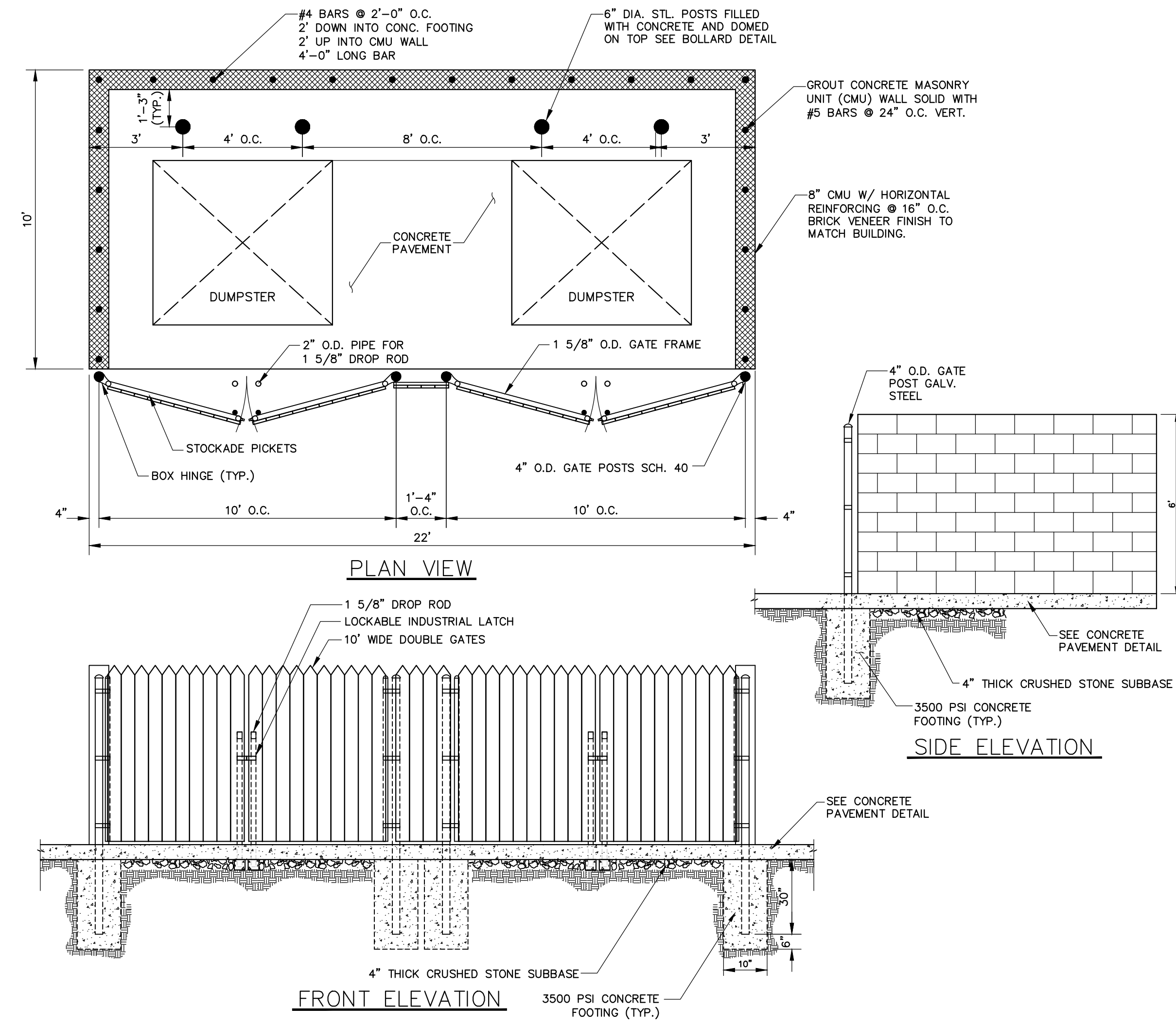


CATALOG NO.	X	Y	NOTES
SEE PLAN	14'	±9.3'	SEE PLAN FOR LOCATION

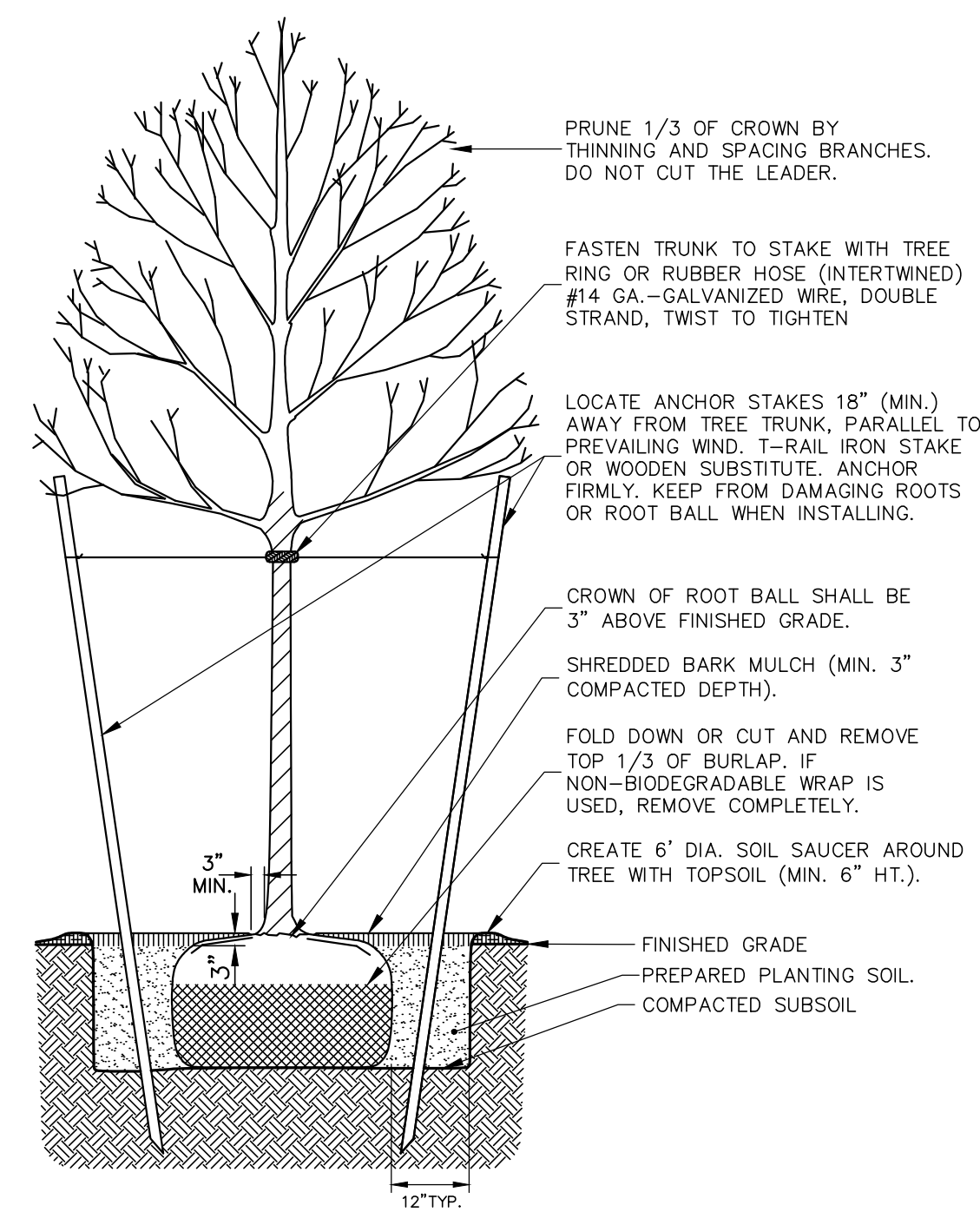
#### NOTES:

- POLE BASE MAY BE PRECAST BY LAKELANDS (LB24D)
- LIGHT POLE MANUFACTURER TO SUPPLY ANCHOR BOLTS, OUTSIDE BASE, AND BOLT PATTERN TEMPLATES.
- TOP OF FOUNDATION IS TO BE 1" ABOVE FINISHED GRADE.

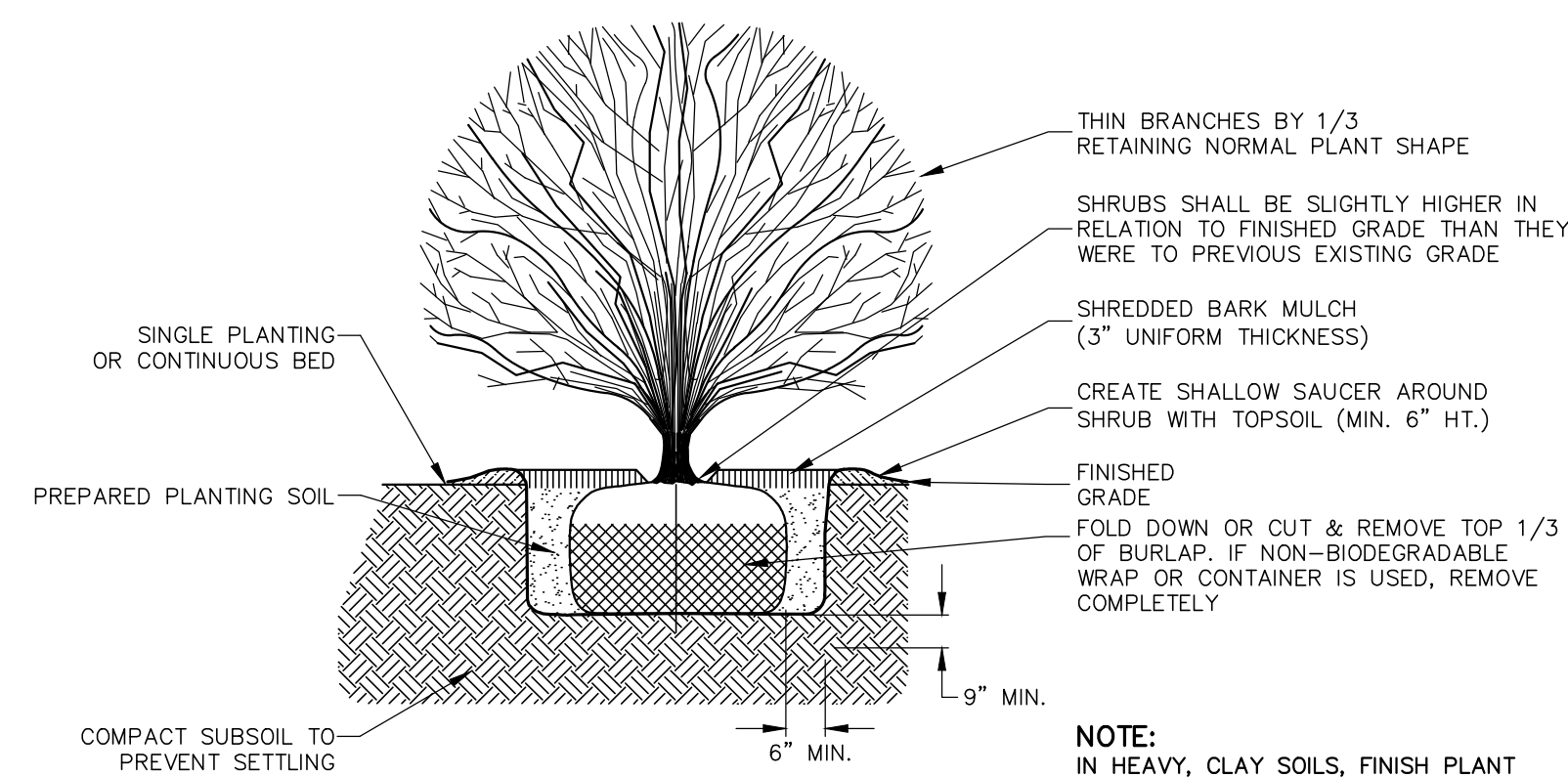
## 1 LIGHT BASE



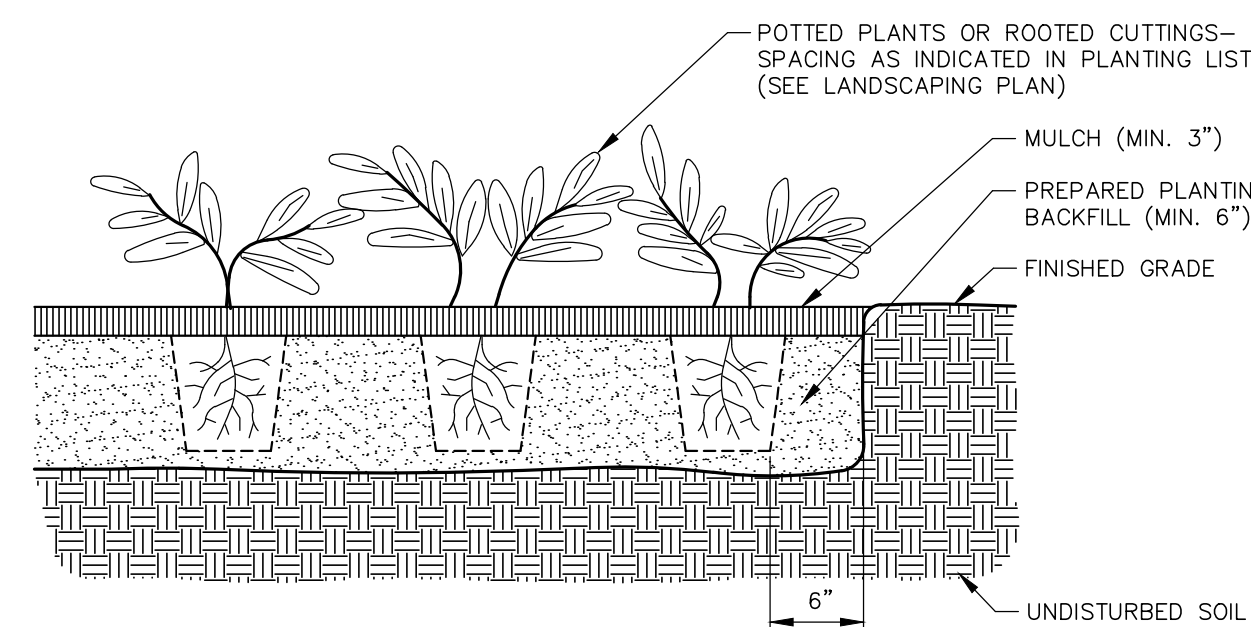
## 6 DUMPSTER ENCLOSURE



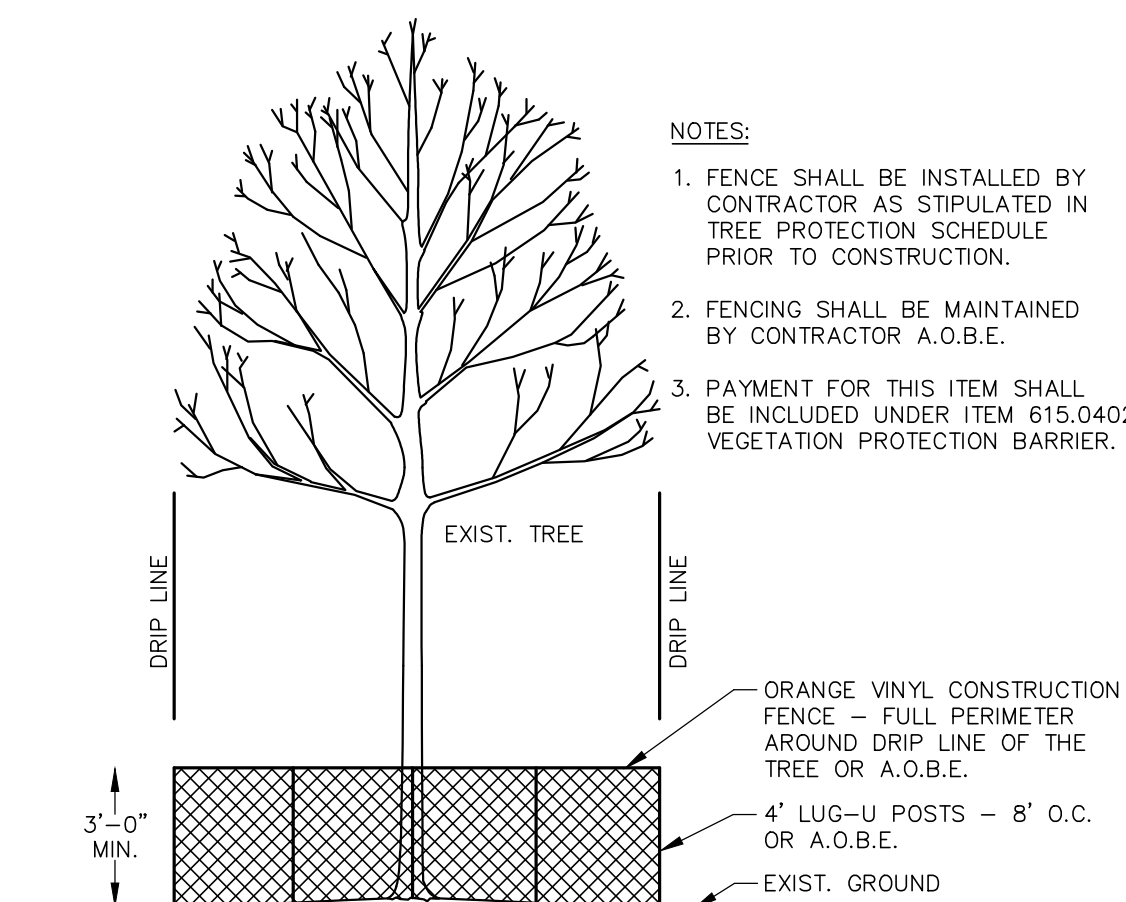
## 8 DECIDUOUS PLANTINGS



## 7 SHRUB PLANTINGS



## 2 GROUND COVER PLANTINGS



## 4 TREE PROTECTION

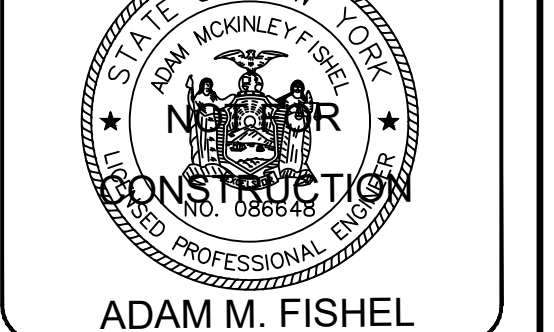
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SCALE: N/A  
DRAWN: AXA  
DESIGNED: AMF  
DATE: 07/30/20

#### REVISIONS

DATE	BY	REVISION

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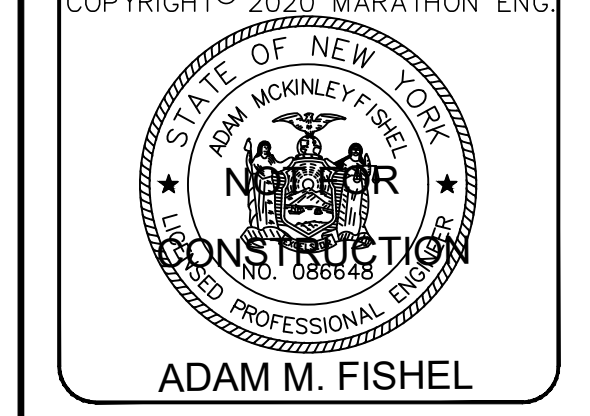
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1096-20  
JOB No: DRAWING No:

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DESIGNED:	AMF
DATE:	07/30/20

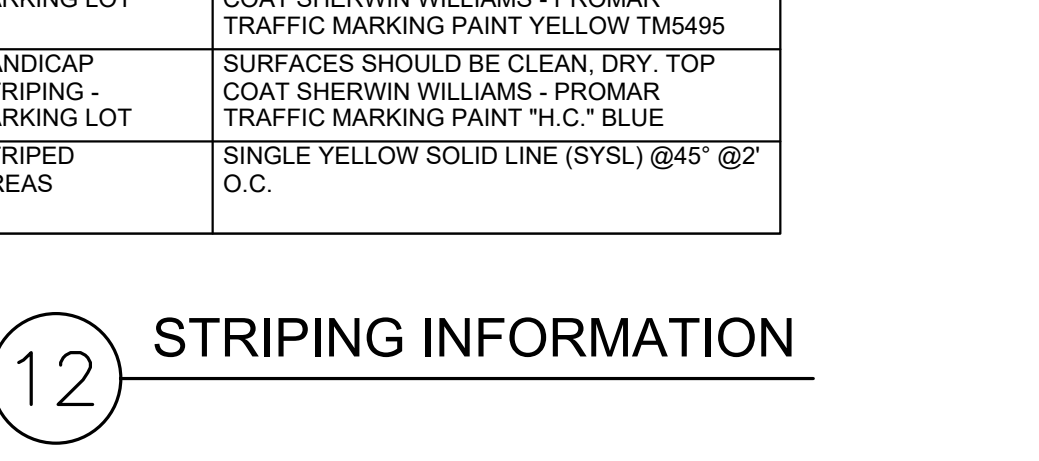
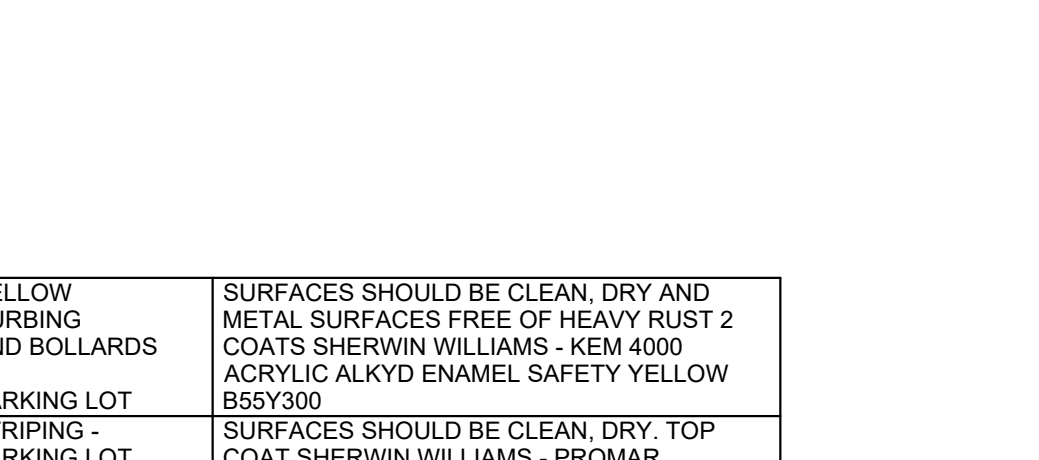
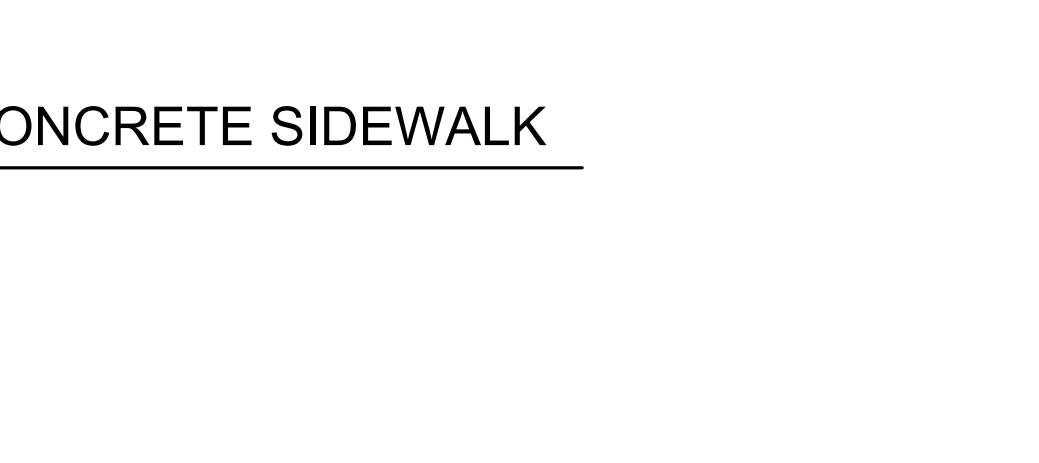
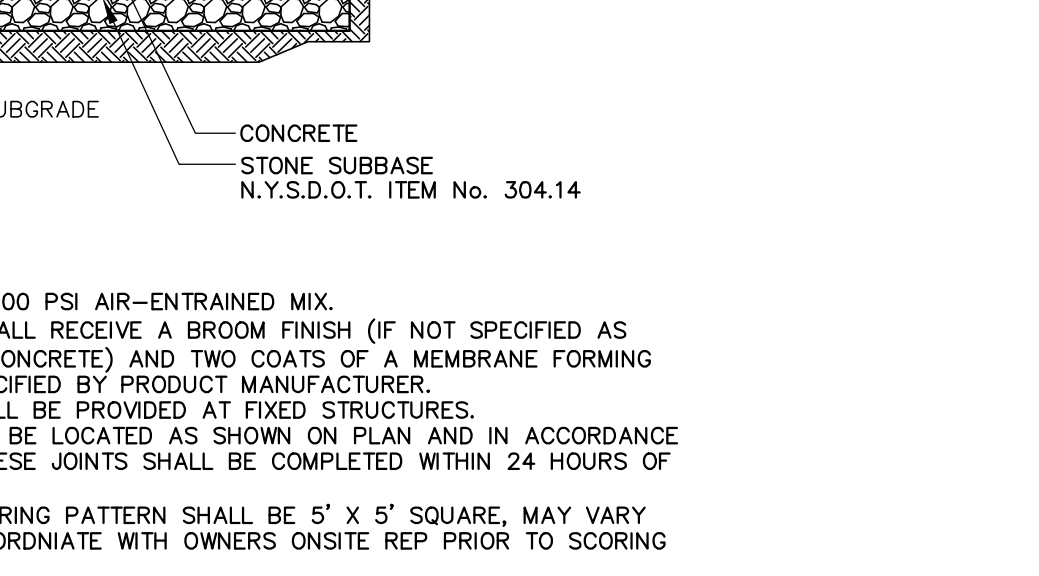
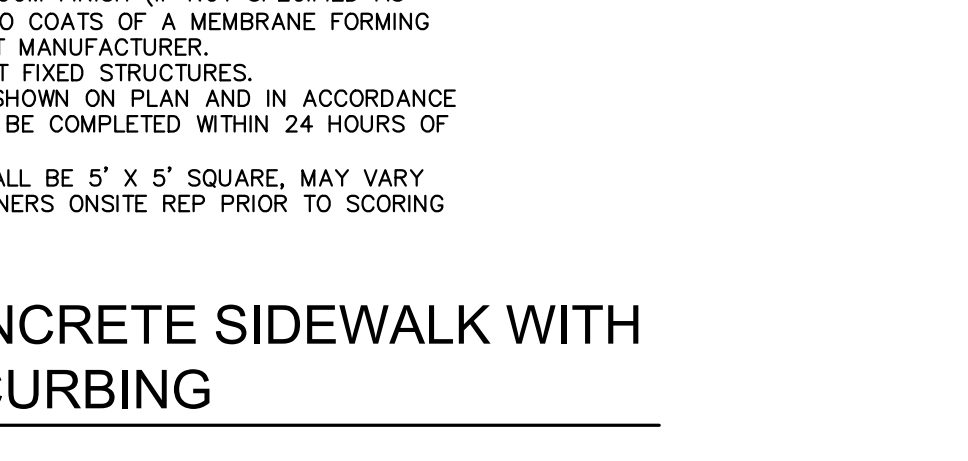
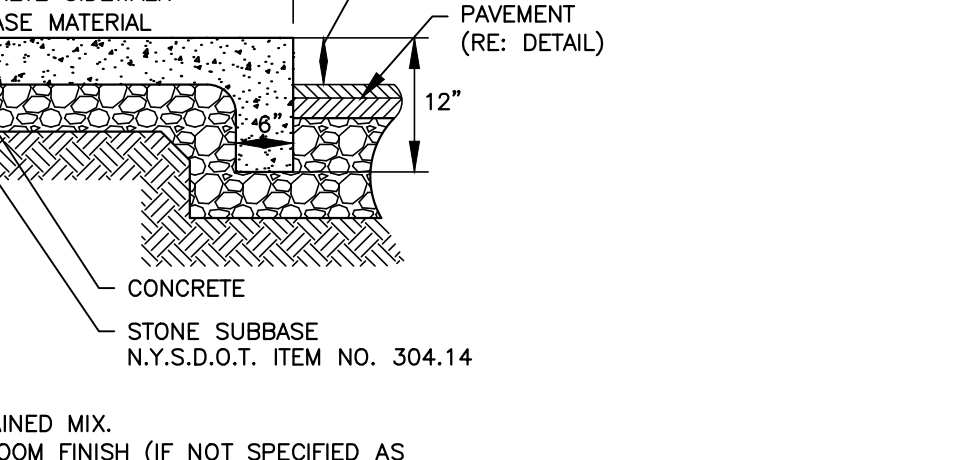
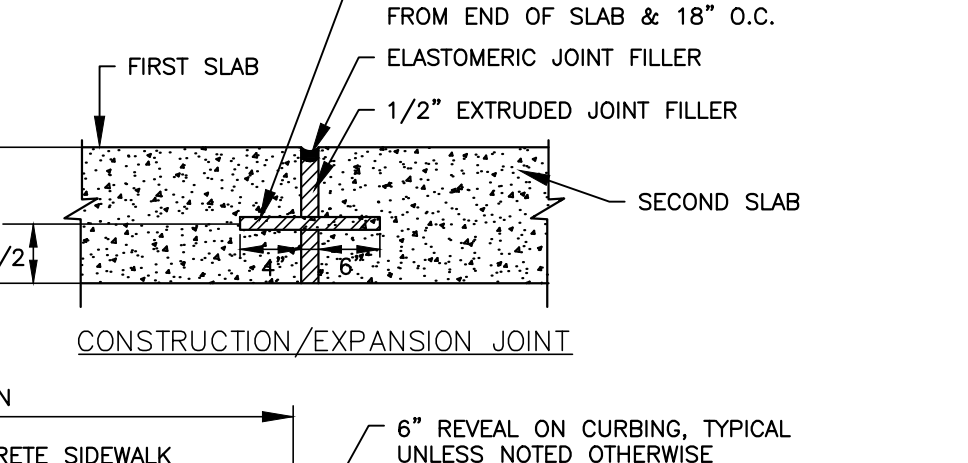
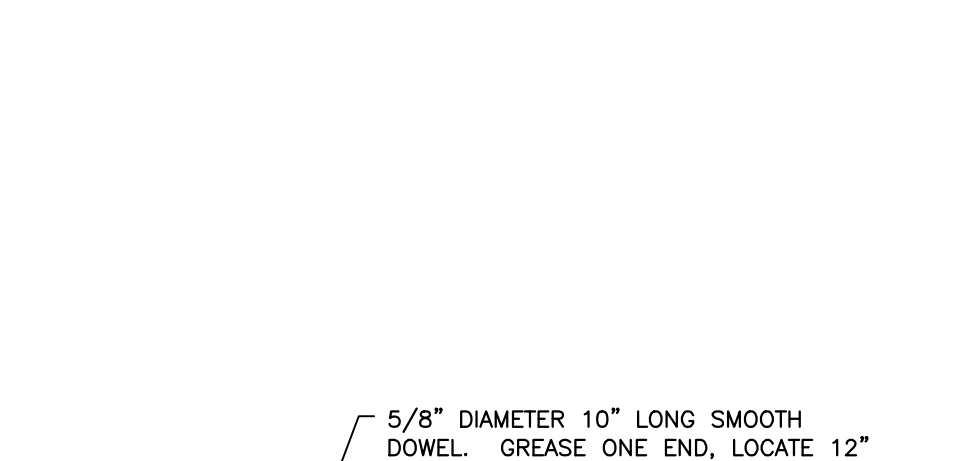
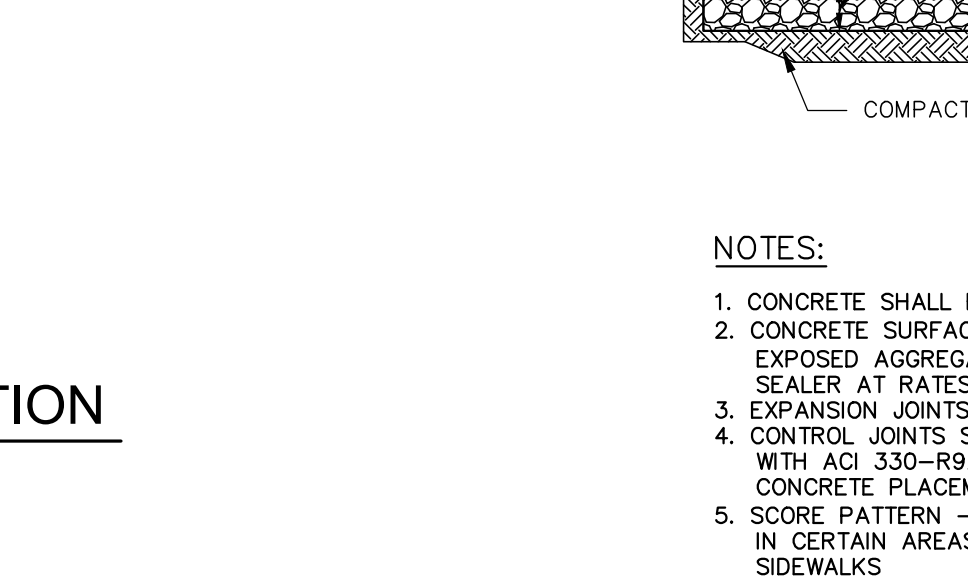
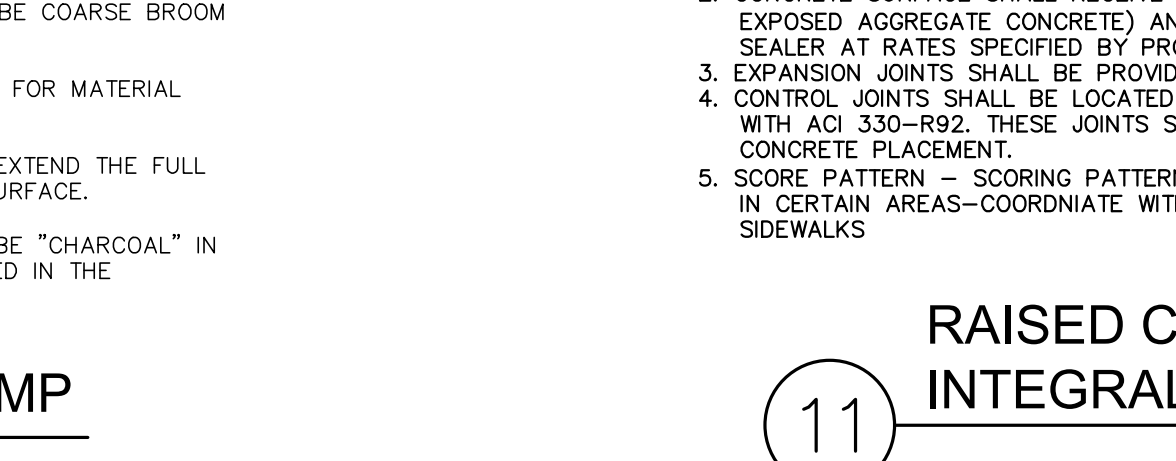
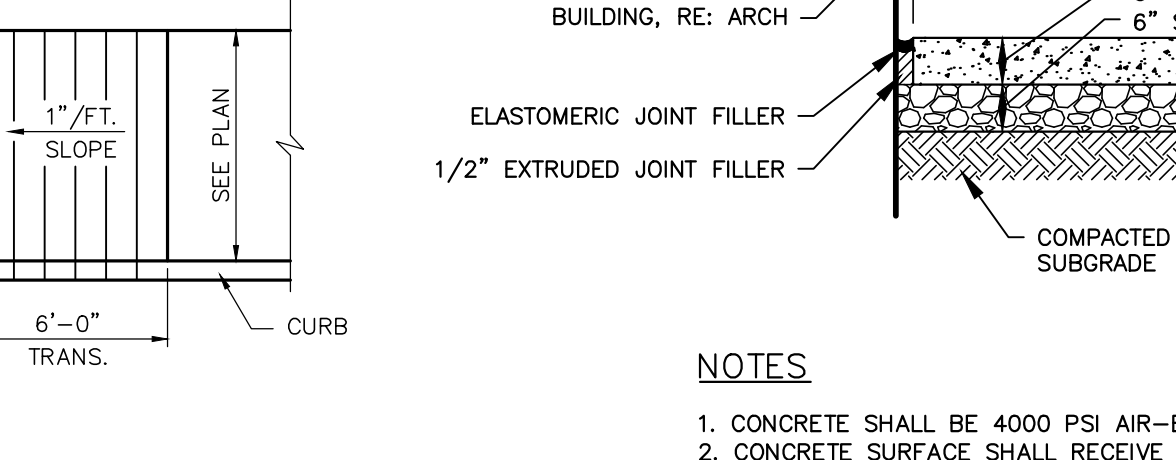
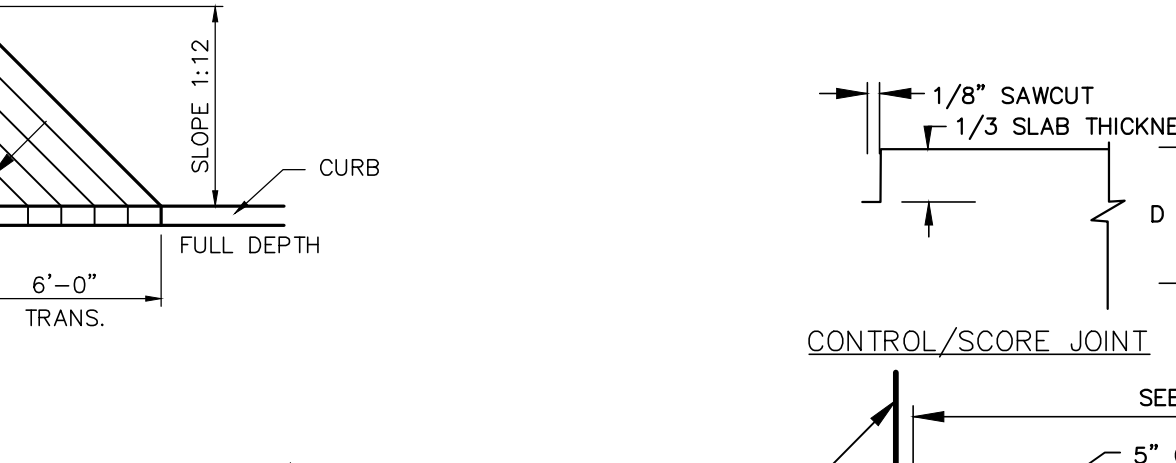
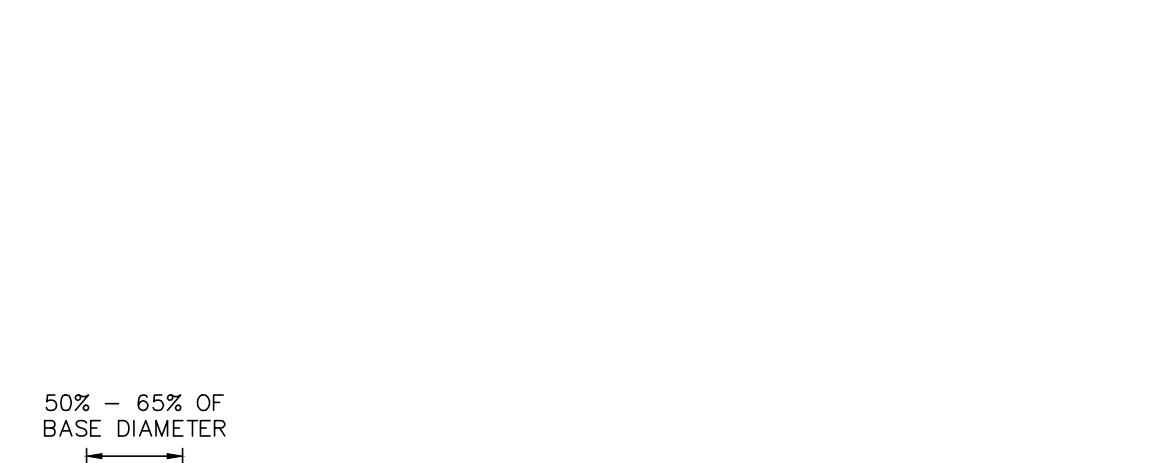
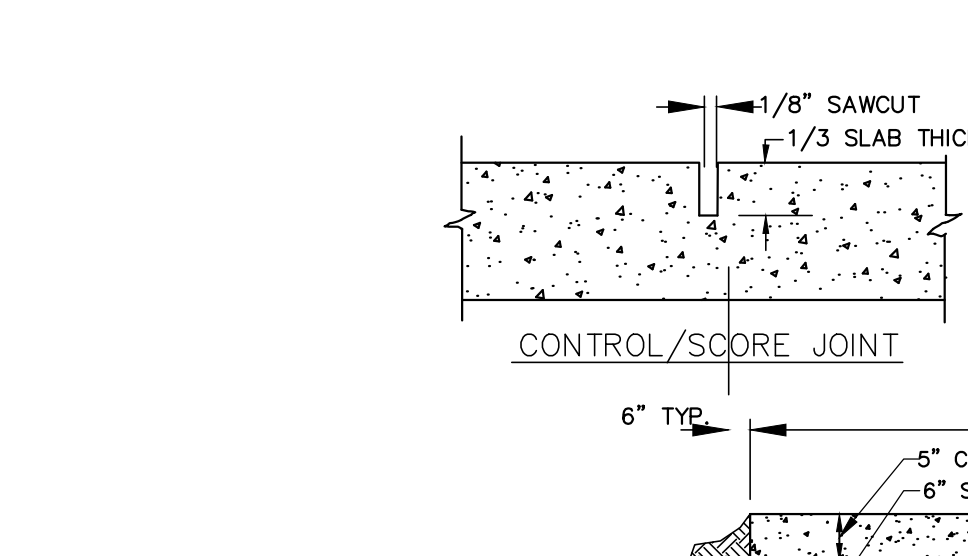
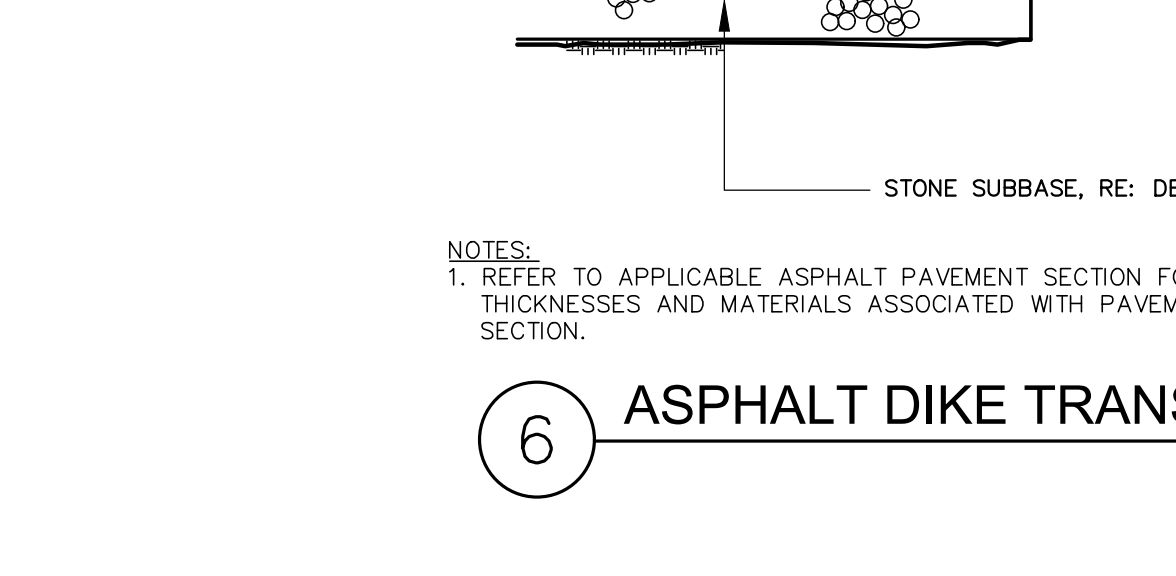
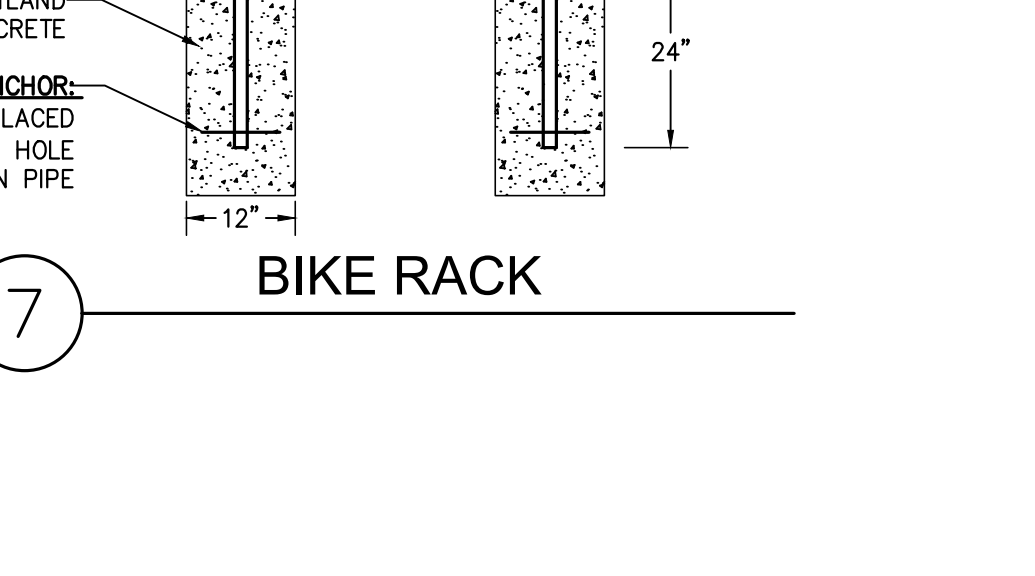
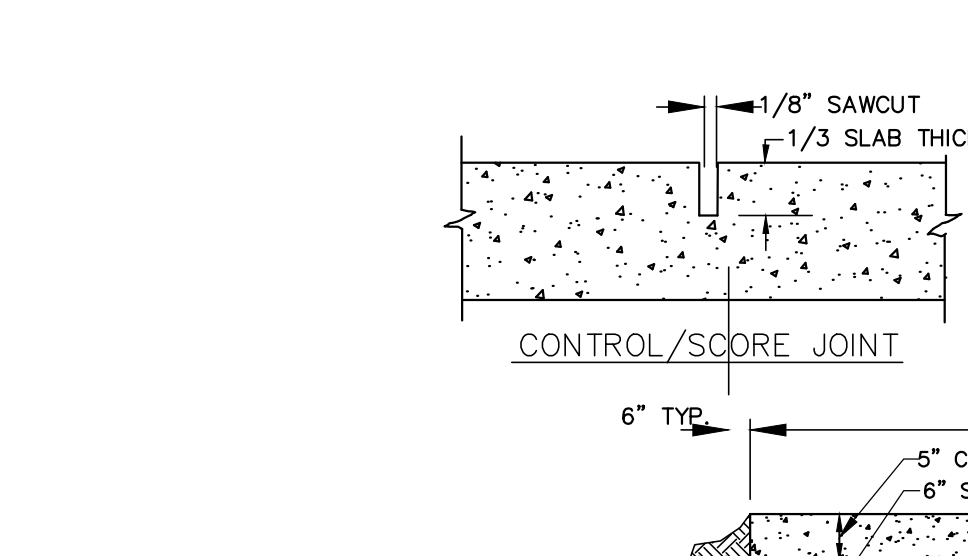
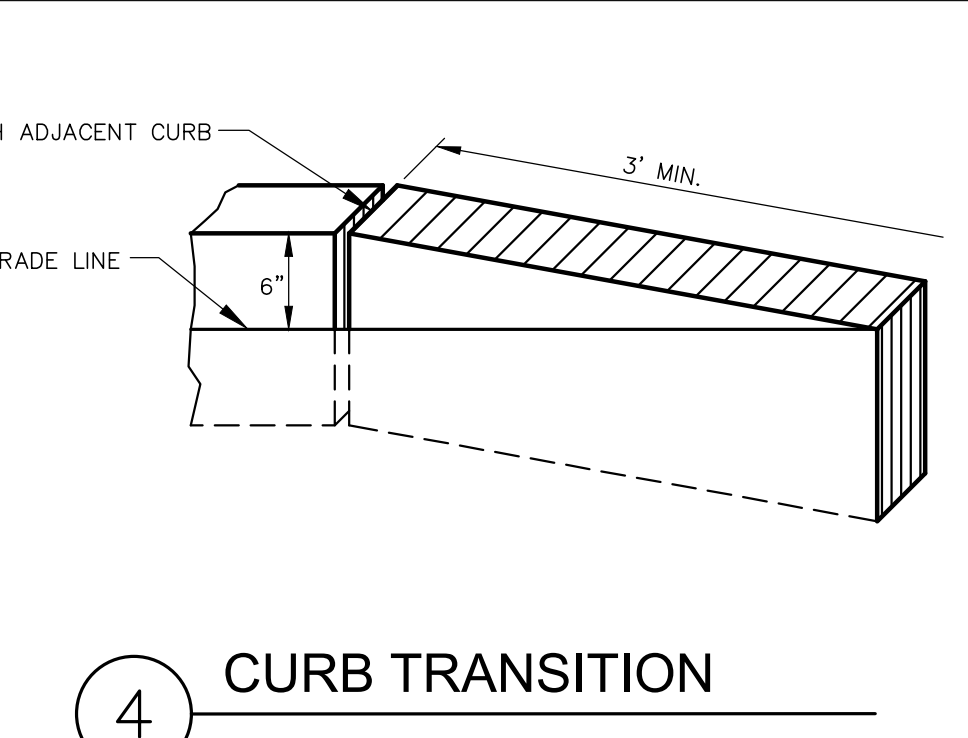
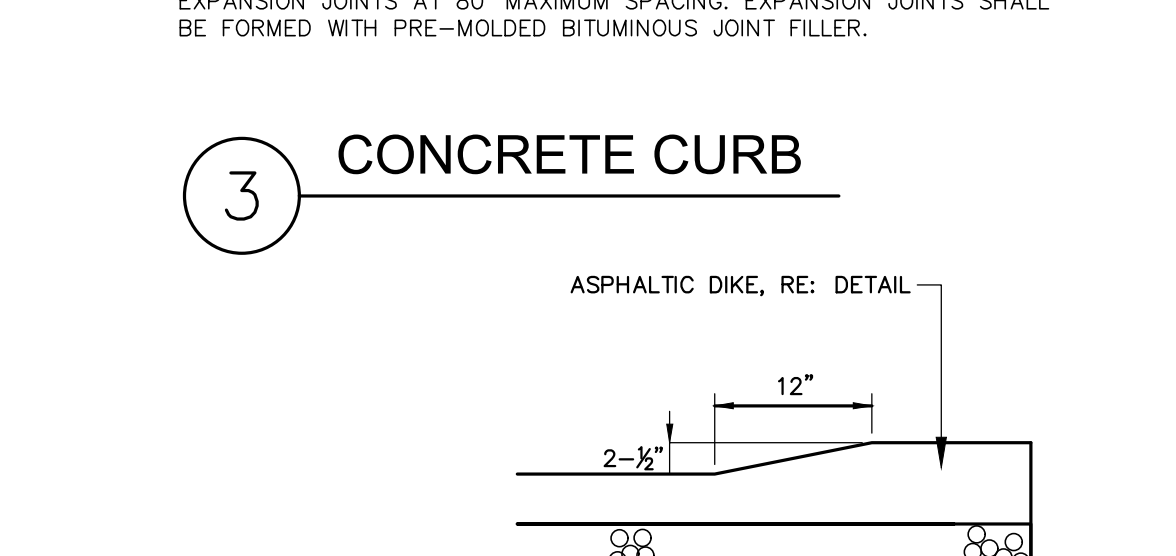
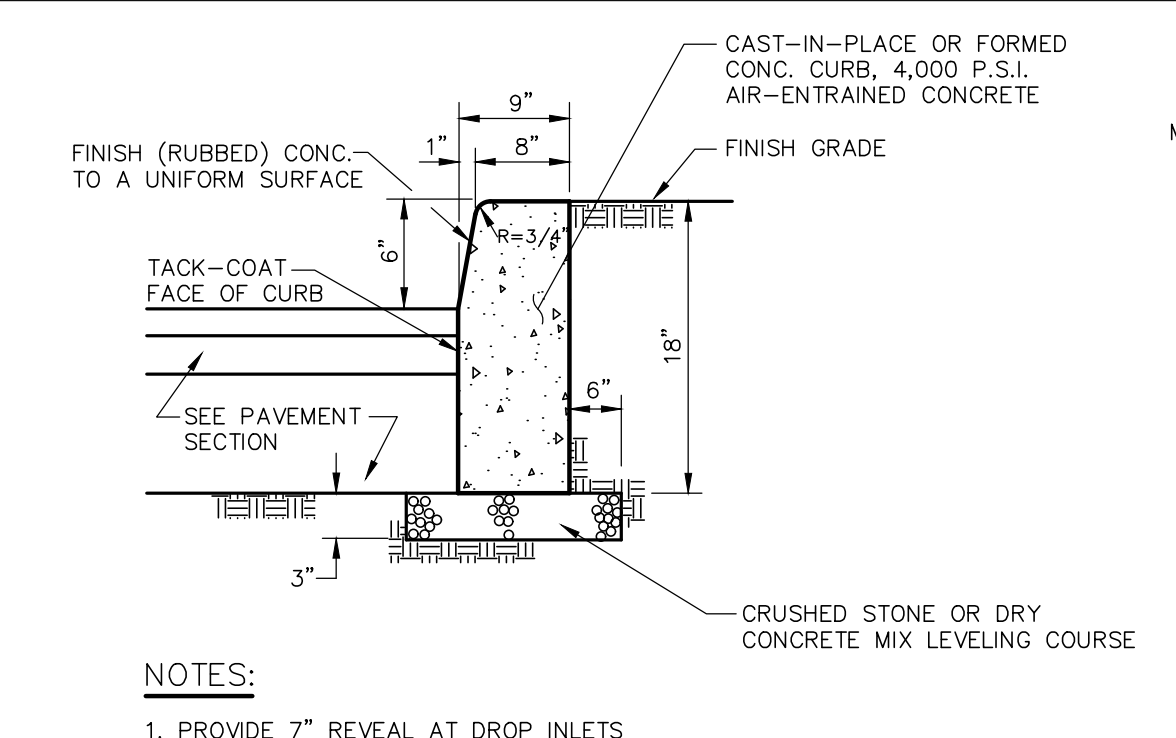
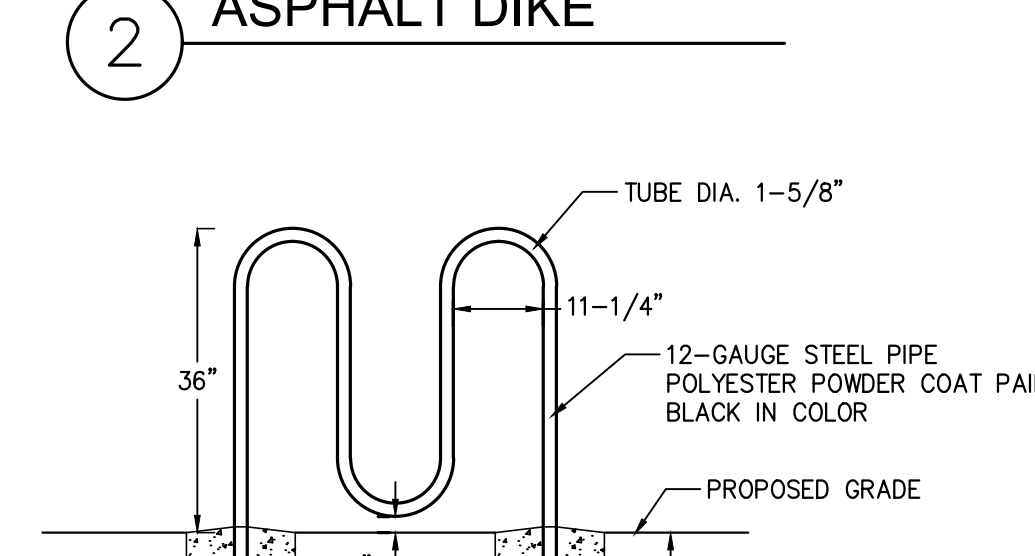
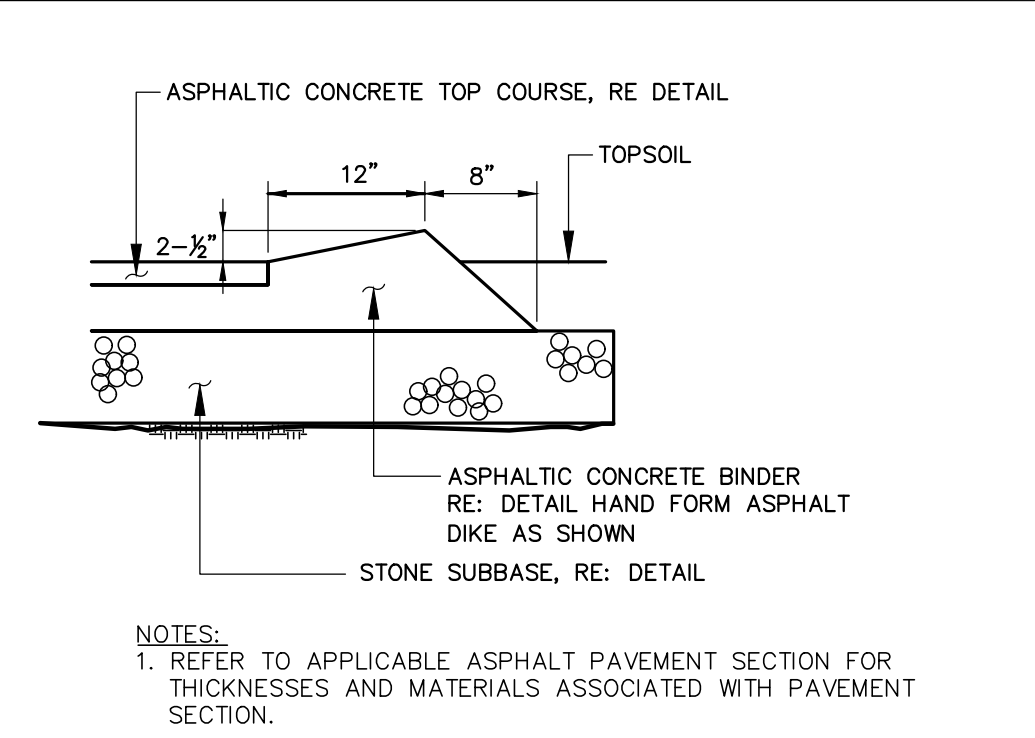
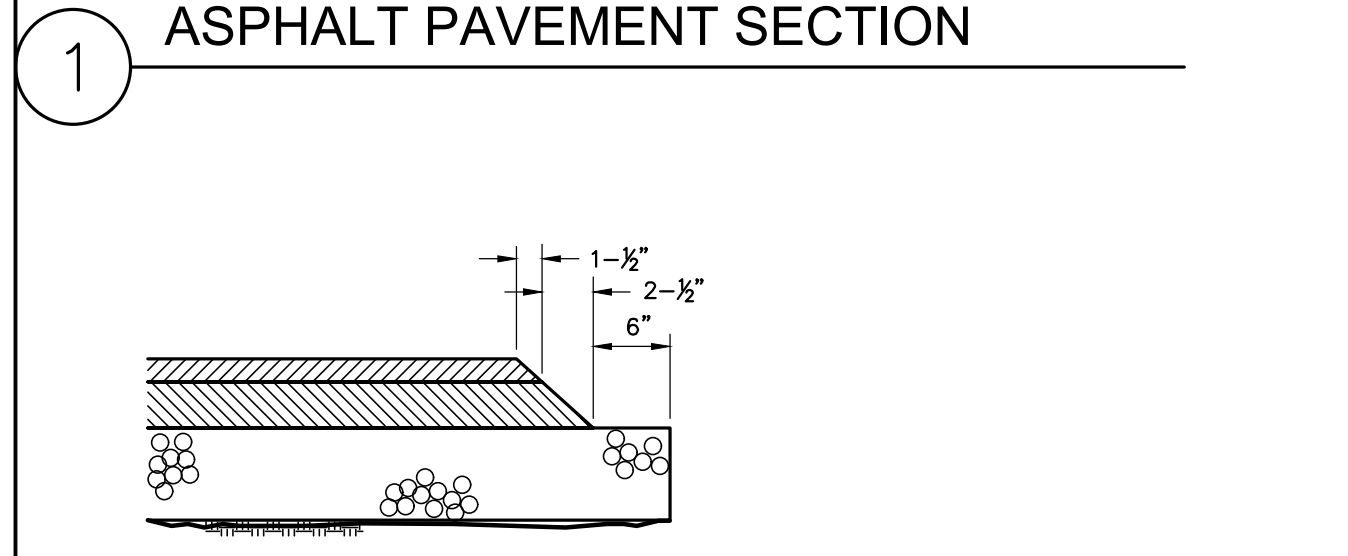
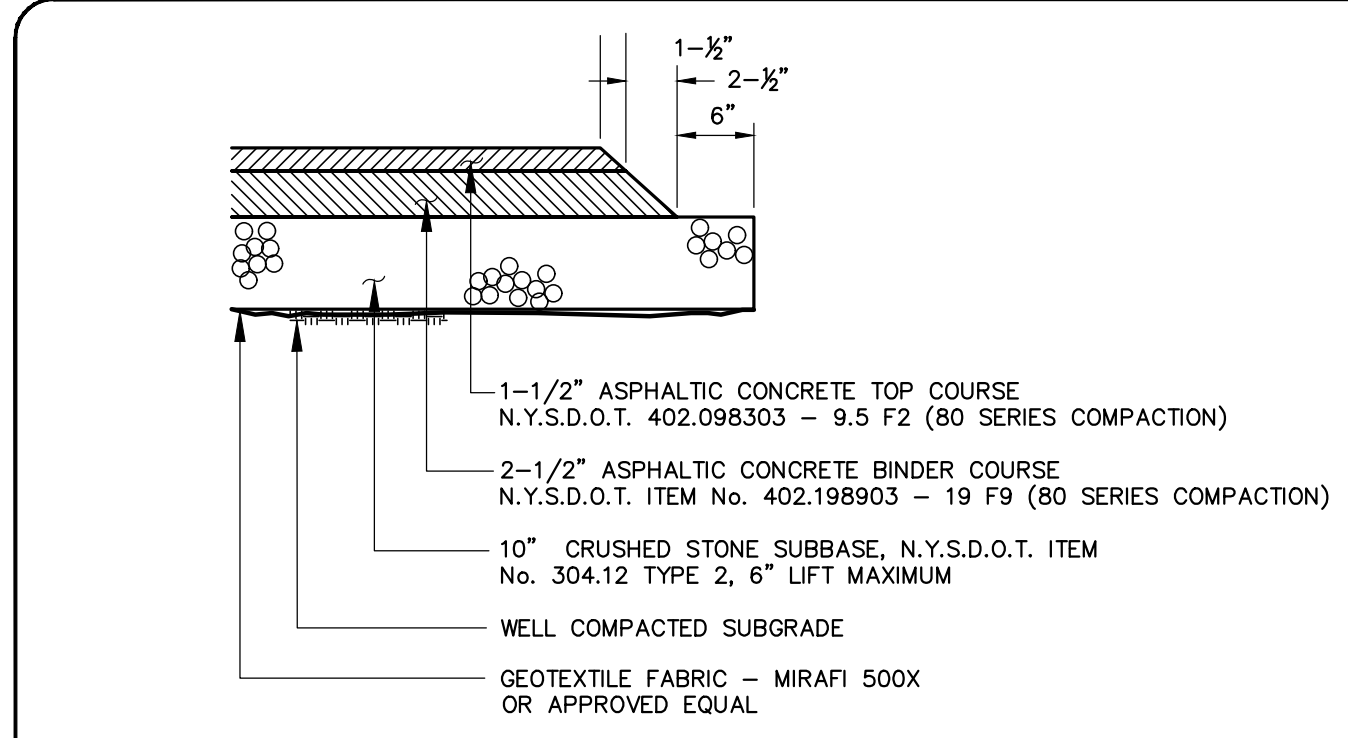
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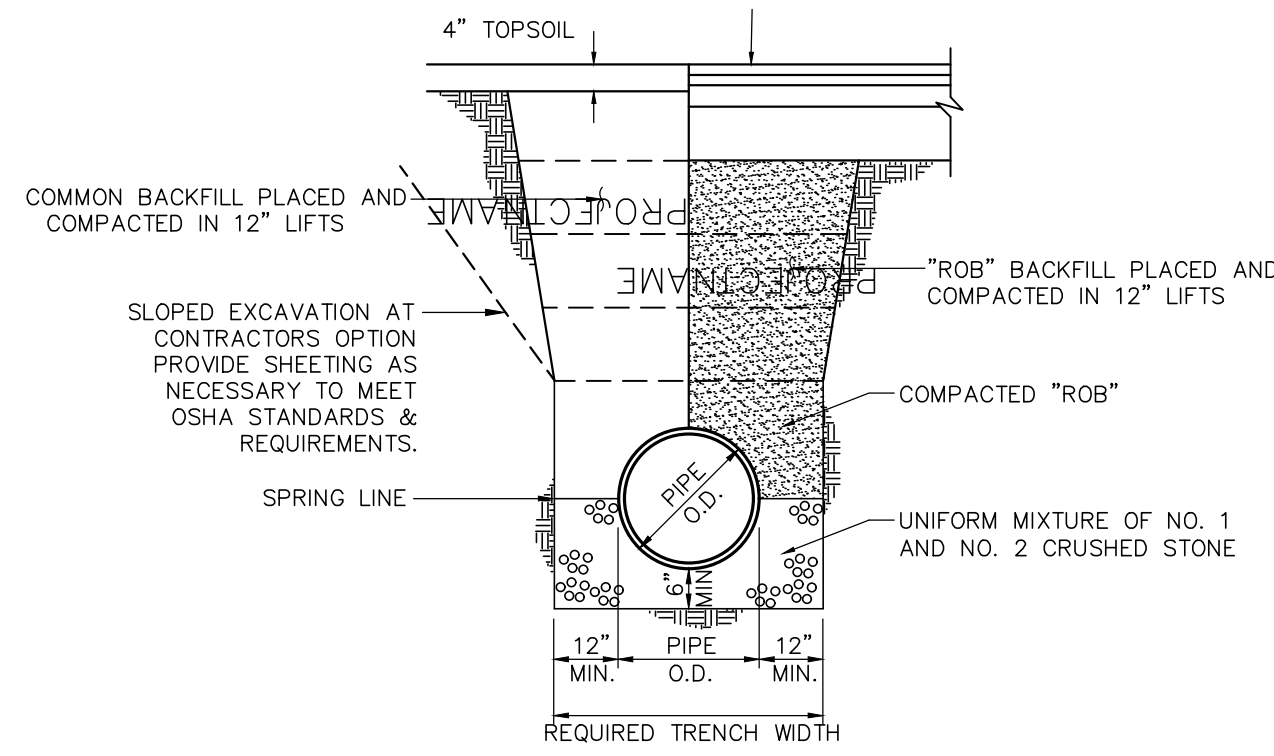
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1. I AM A REGISTERED PROFESSIONAL ENGINEER UNDER THE JURISDICTION OF THE STATE OF NEW YORK. I HAVE BEEN LICENSED AS SUCH SINCE 1988. I HAVE MAINTAINED MY LICENSE AND AM CURRENTLY IN GOOD STANDING. I HAVE REVIEWED THESE PLANS AND AM PROVIDING MY PROFESSIONAL OPINION AND SEAL TO THE BEST OF MY KNOWLEDGE AND BELIEF. I HAVE REVIEWED THE PLANS AND AM PROVIDING MY PROFESSIONAL OPINION AND SEAL TO THE BEST OF MY KNOWLEDGE AND BELIEF. I HAVE REVIEWED THE PLANS AND AM PROVIDING MY PROFESSIONAL OPINION AND SEAL TO THE BEST OF MY KNOWLEDGE AND BELIEF.

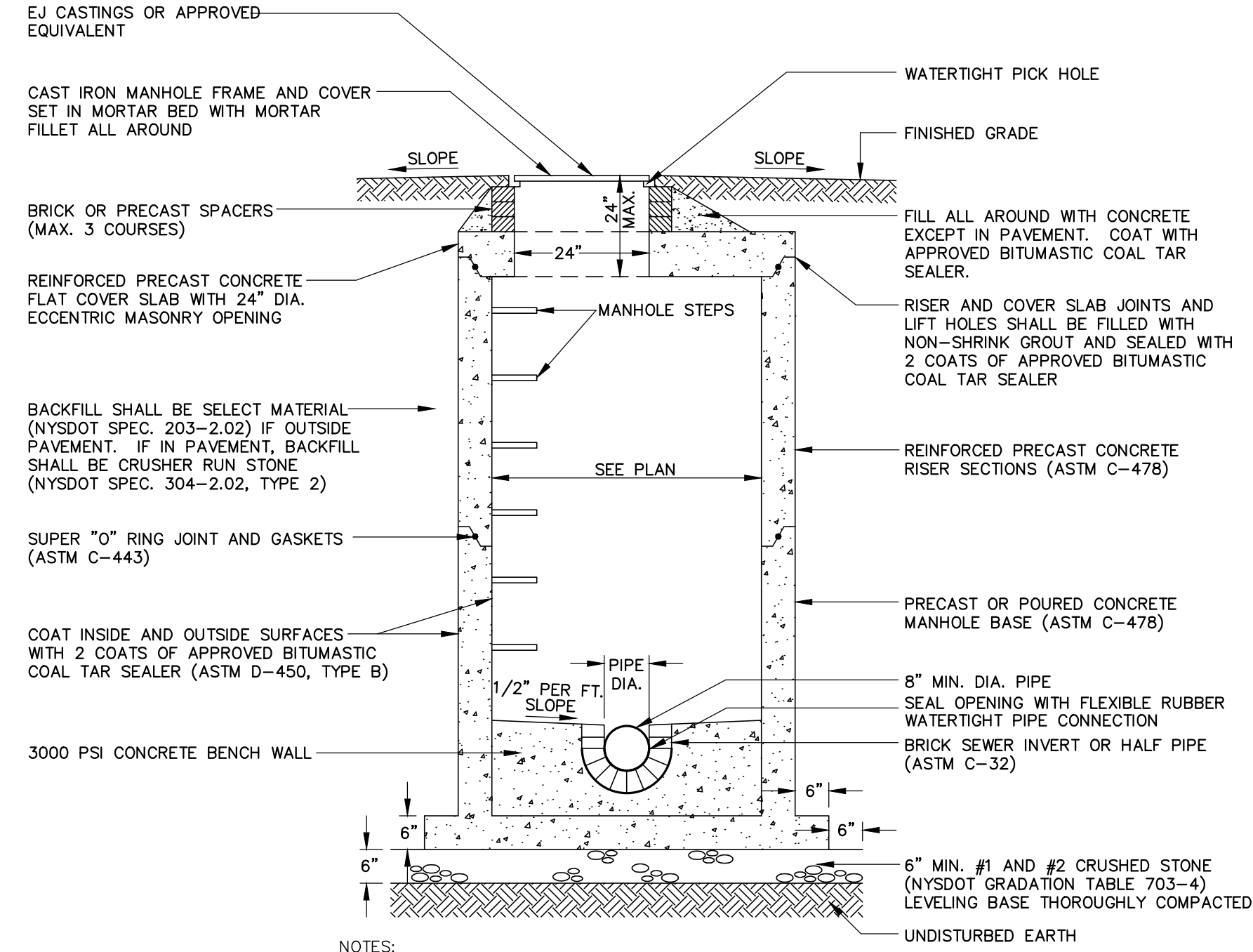


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12 of 18 SHEET No:	<b>C-6.2</b>
1096-20 JOB No:	DRAWING No:

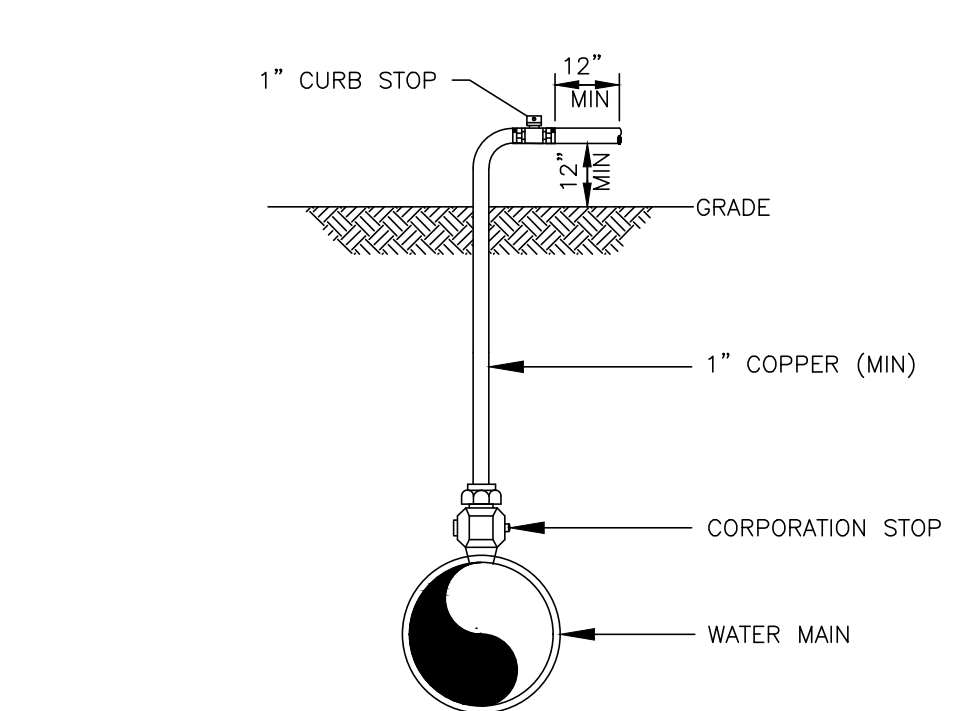




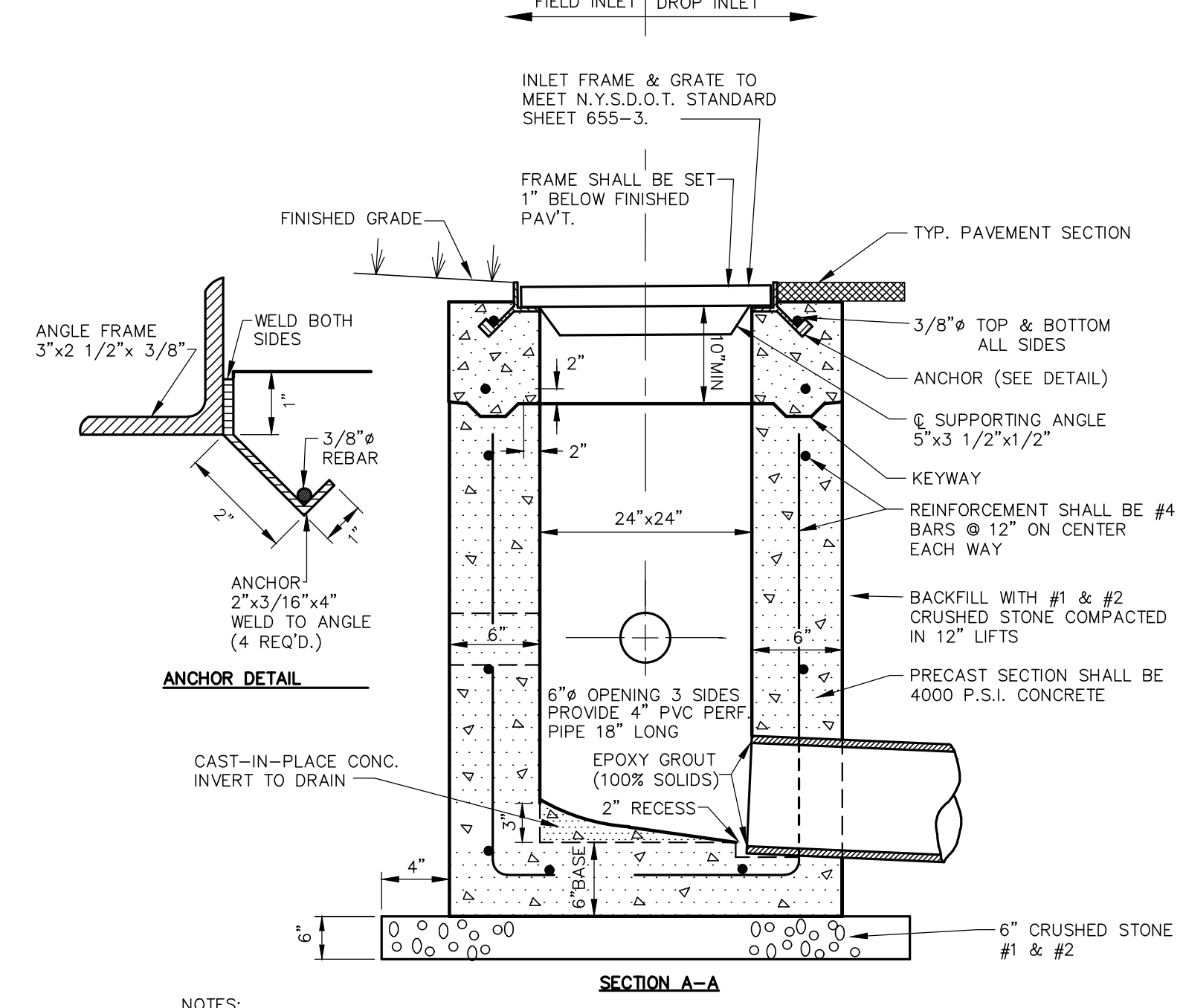
1 SANITARY TRENCH



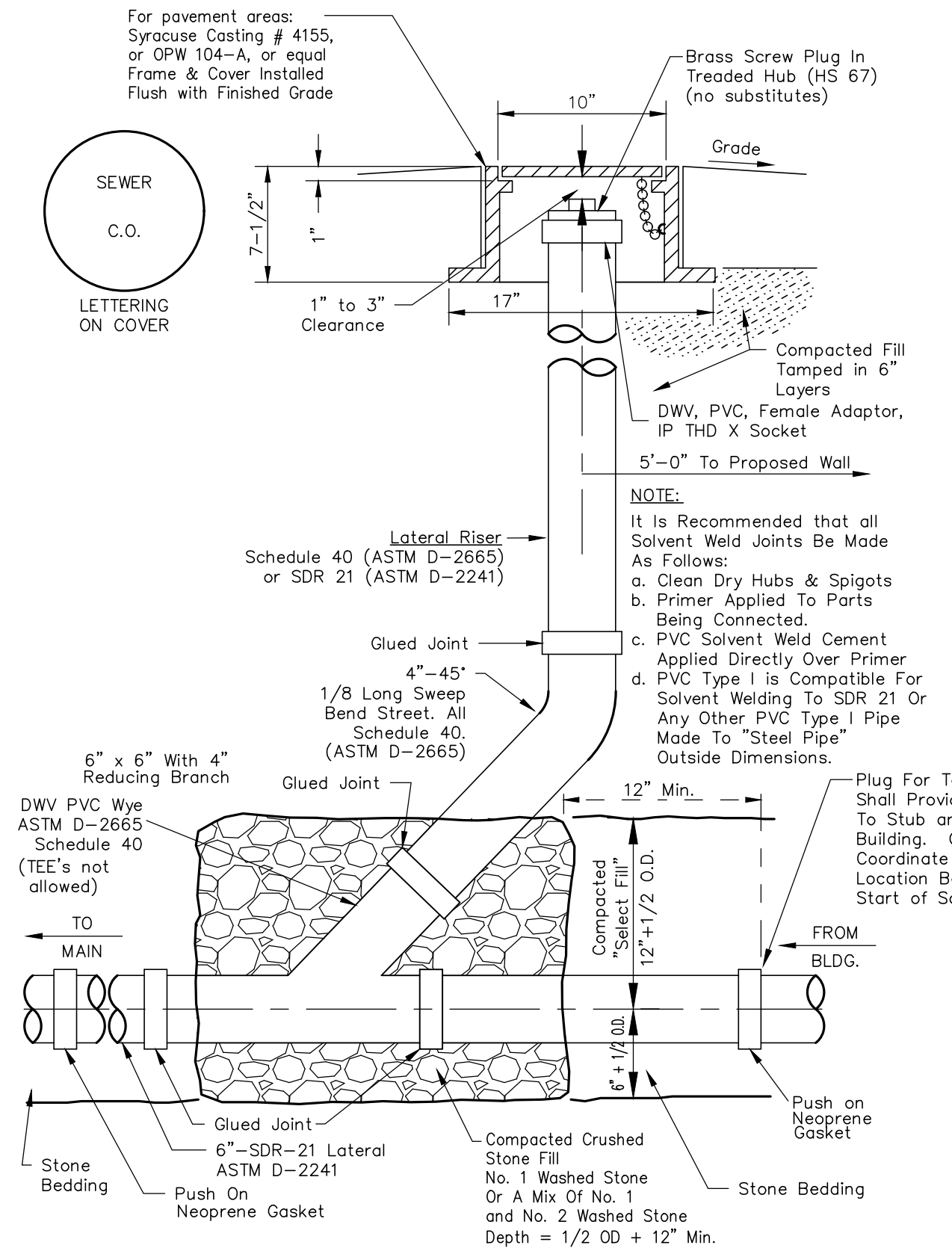
4 SANITARY MANHOLE



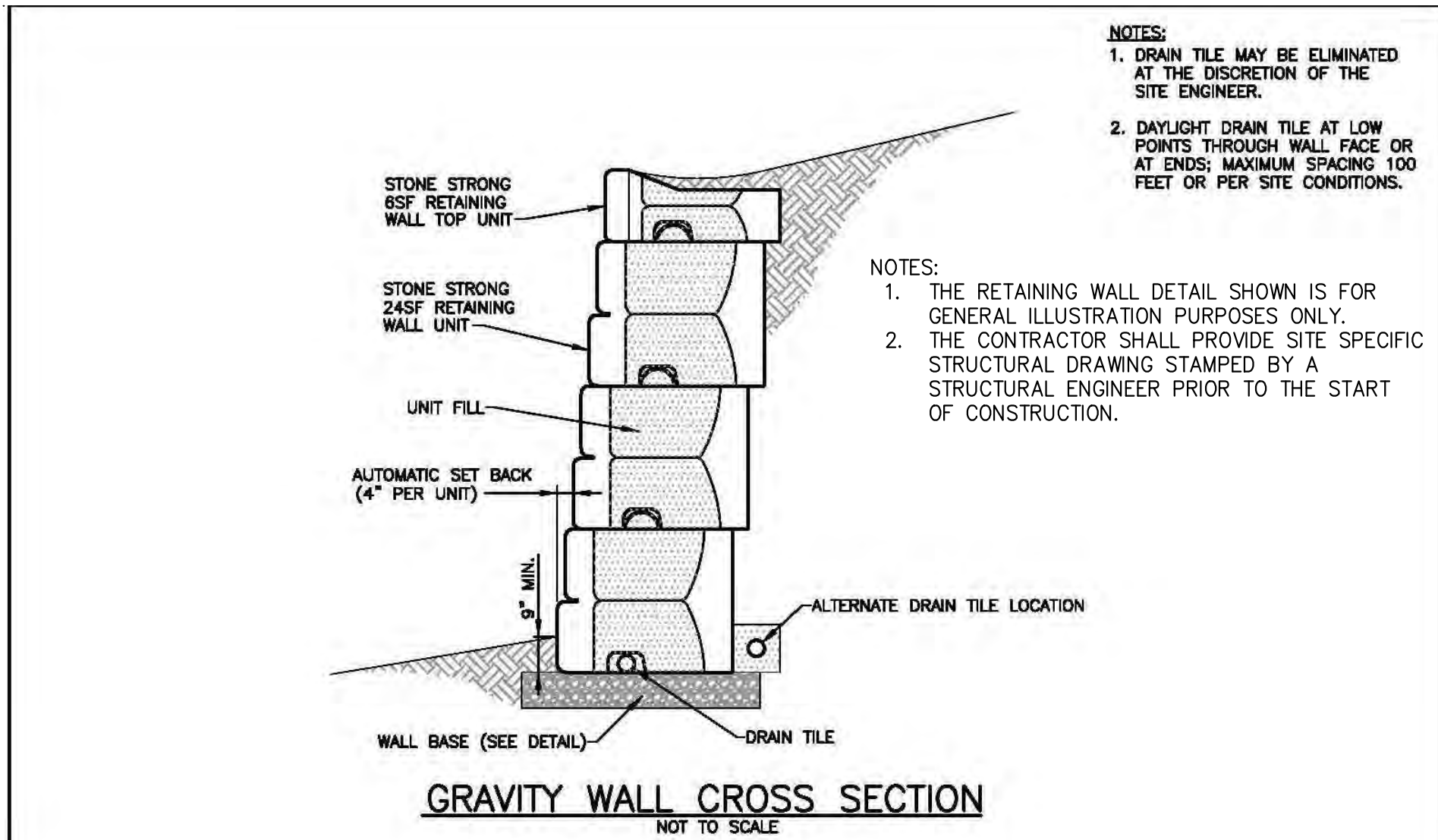
5 DISINFECTION/SAMPLING TAP



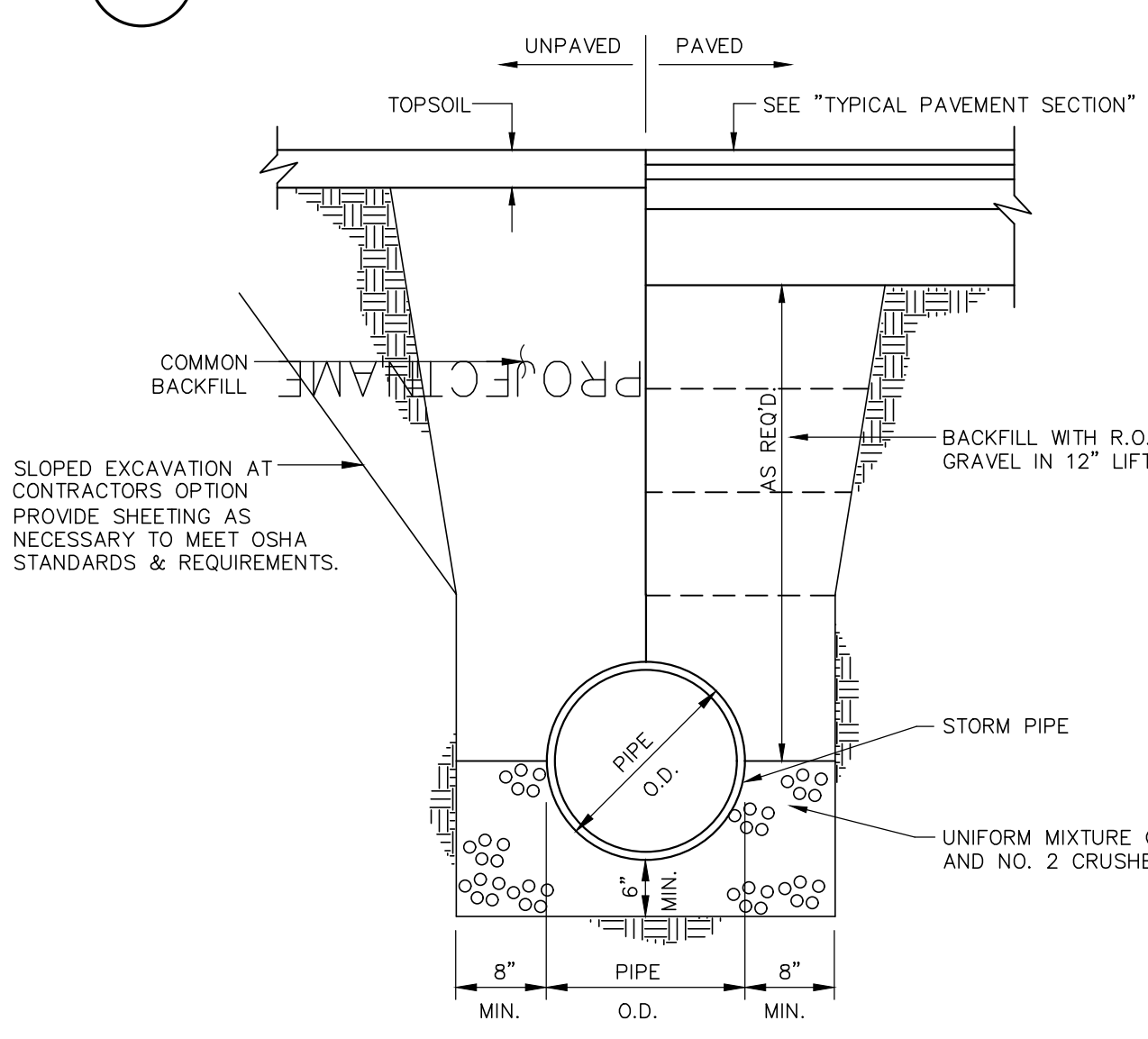
6 DROP/ FIELD INLET



2 PVC SANITARY/ STORM CLEANOUT

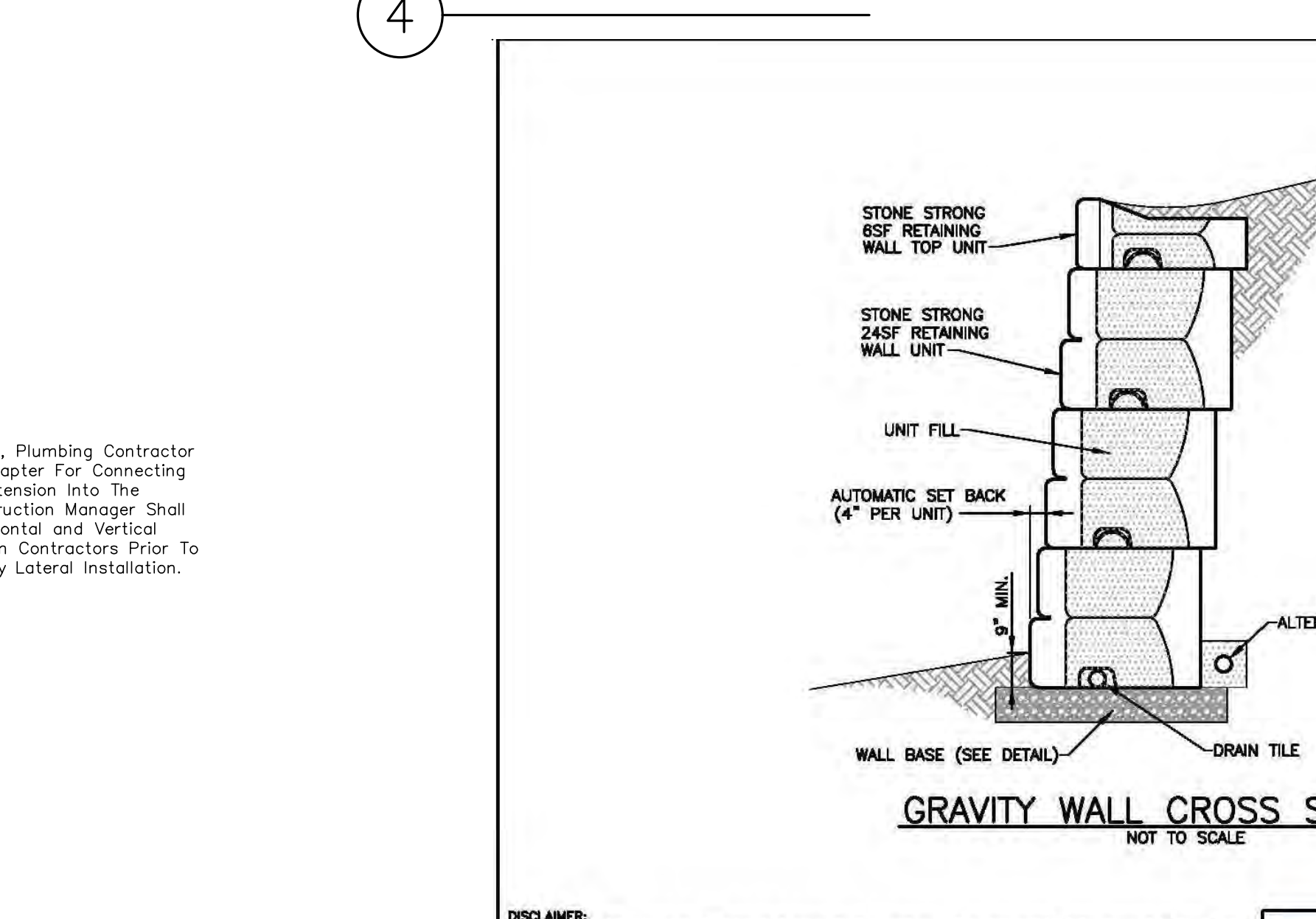


11 RETAINING WALL



3 STORM TRENCH SOLID PIPE

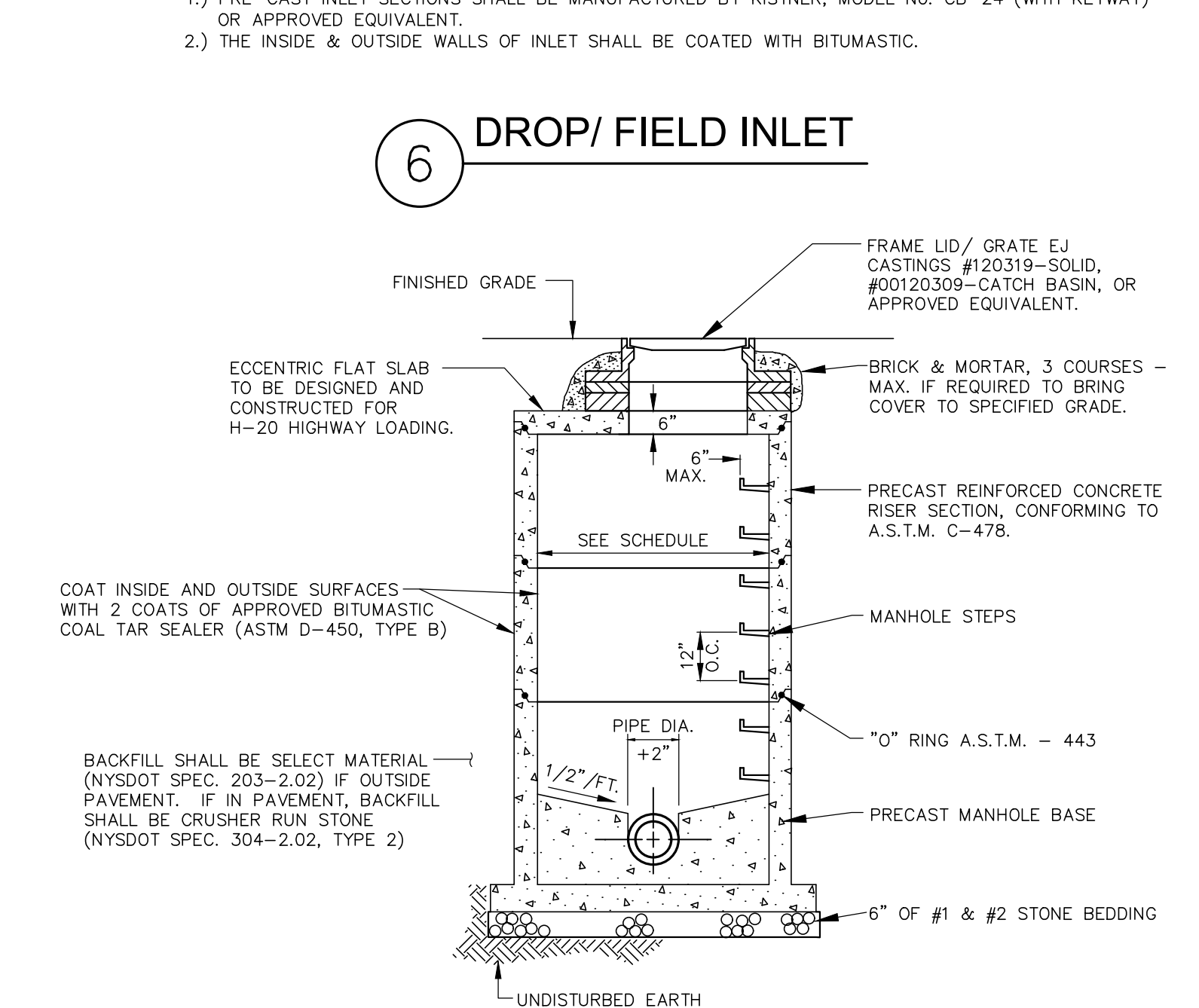
4 SANITARY MANHOLE



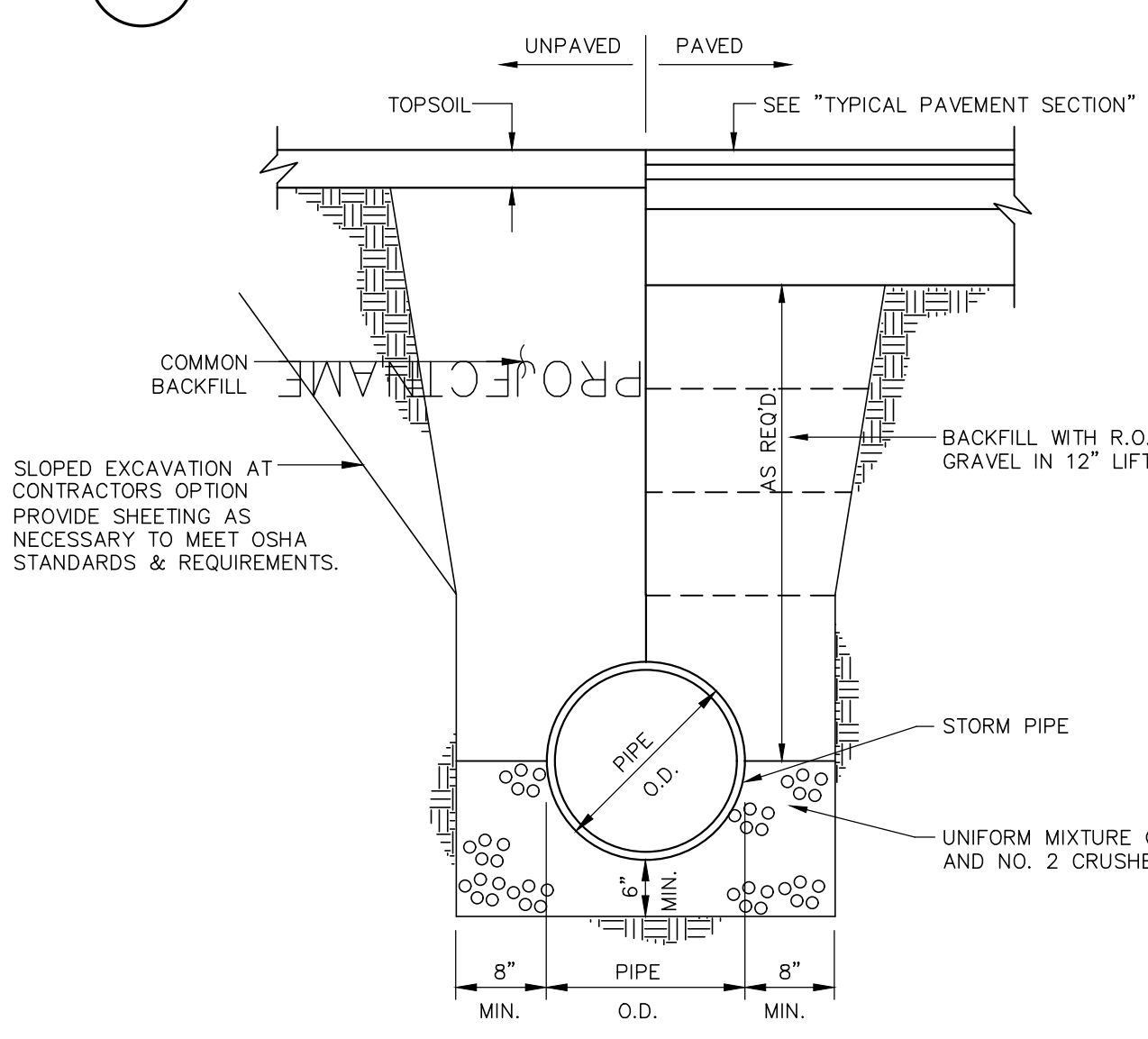
10 TRENCH

NOTE: IMMEDIATELY PRIOR TO THE AUTHORITY PLACING WATER MAIN/WATER SERVICE INTO SERVICE THE CONTRACTOR IS REQUIRED TO REMOVE ALL CORPORATIONS ASSOCIATED WITH TEMPORARY FACILITIES SUCH AS SAMPLING/DISINFECTION TAPS AND REPLACE WITH A THREADED BRASS PLUG. THE INSTALLATION OF THE PLUG MUST BE WITNESSED BY A WATER AUTHORITY REPRESENTATIVE.

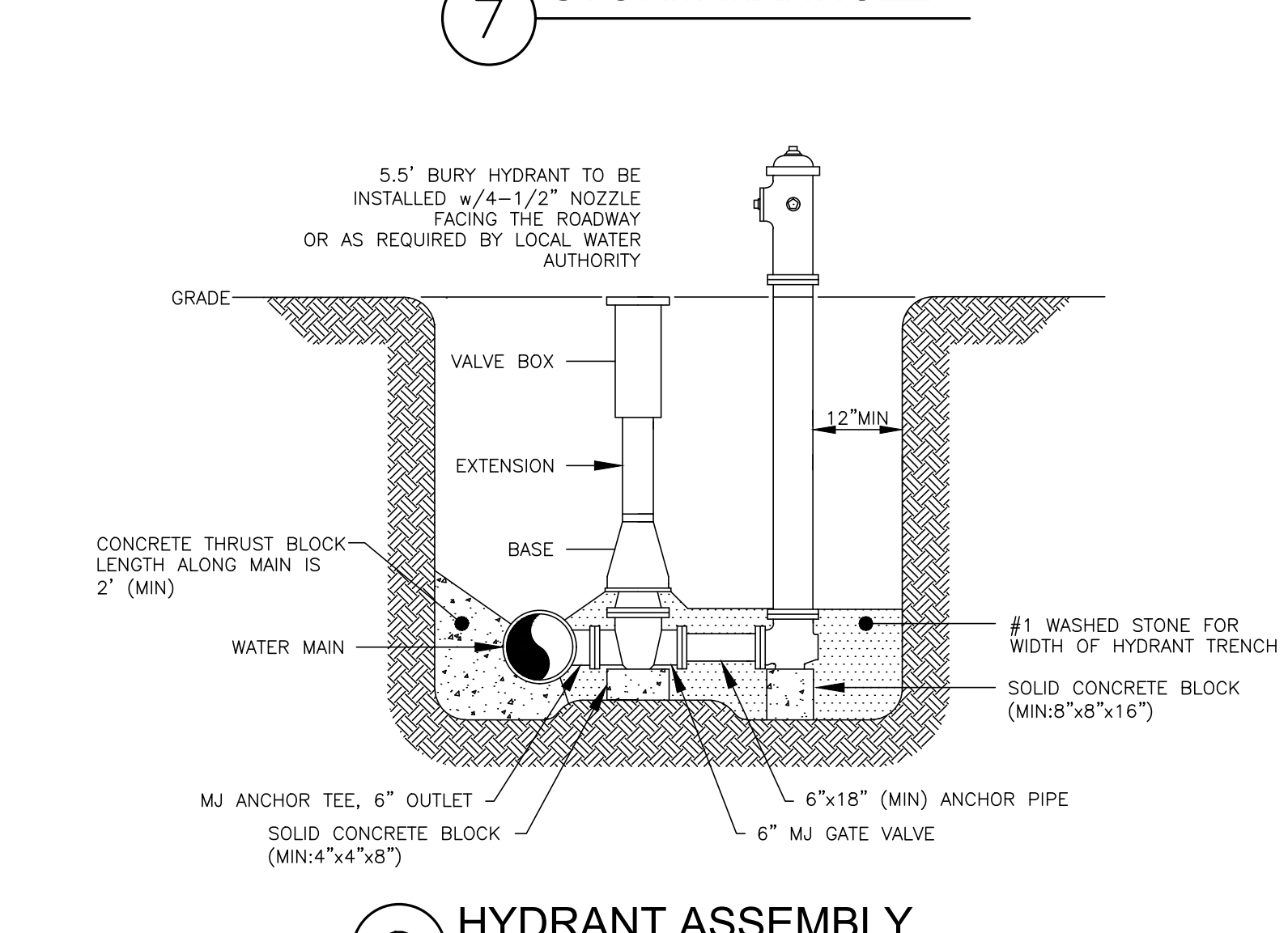
9 VALVE



7 STORM MANHOLE



9 VALVE



8 HYDRANT ASSEMBLY CLASS A

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**STONE STRONG SYSTEMS**  
PROJECT: CROSS SECTIONS  
DATE: 6/29/18 FILE: 01\_24d.XSec.Dwg

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607-241-2917  
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**SITE DEVELOPMENT PLANS**  
for  
**MAIFLY DEVELOPMENT**  
STATE OF NEW YORK  
TOWN OF DRYDEN  
INTERSECTION OF FREESE ROAD AND DRYDEN ROAD (STATE ROUTE 366)

JOB NO: 1096-20  
SCALE: N/A  
DRAWN: AXA  
DESIGNED: AMF  
DATE: 07/30/20

REVISIONS

DATE	BY	REVISION

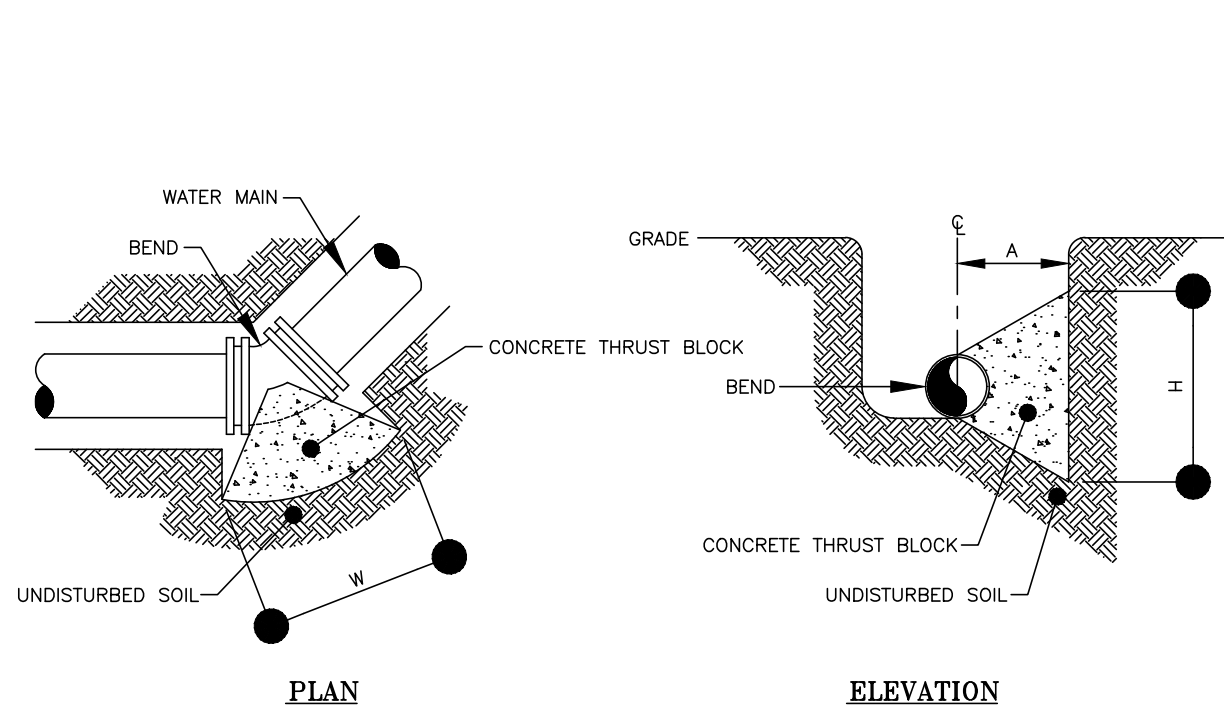
ADAM M. FISHEL  
PROFESSIONAL ENGINEER  
No. 086642

STATE OF NEW YORK  
ADAM M. FISHEL  
PROFESSIONAL ENGINEER  
No. 086642

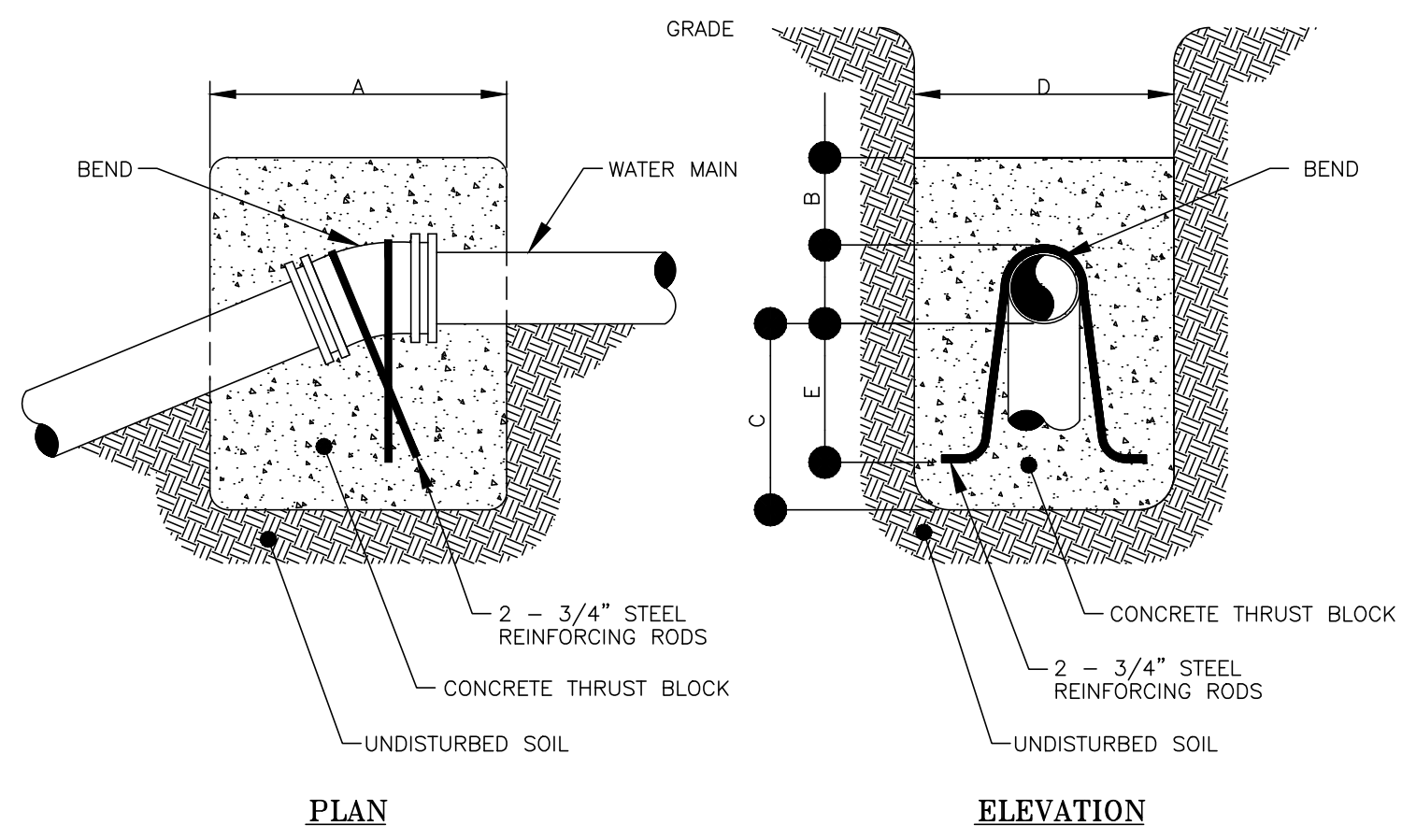
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Detail Sheet  
(4 of 5)

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SHEET No: C-6.3  
JOB No: DRAWING No:

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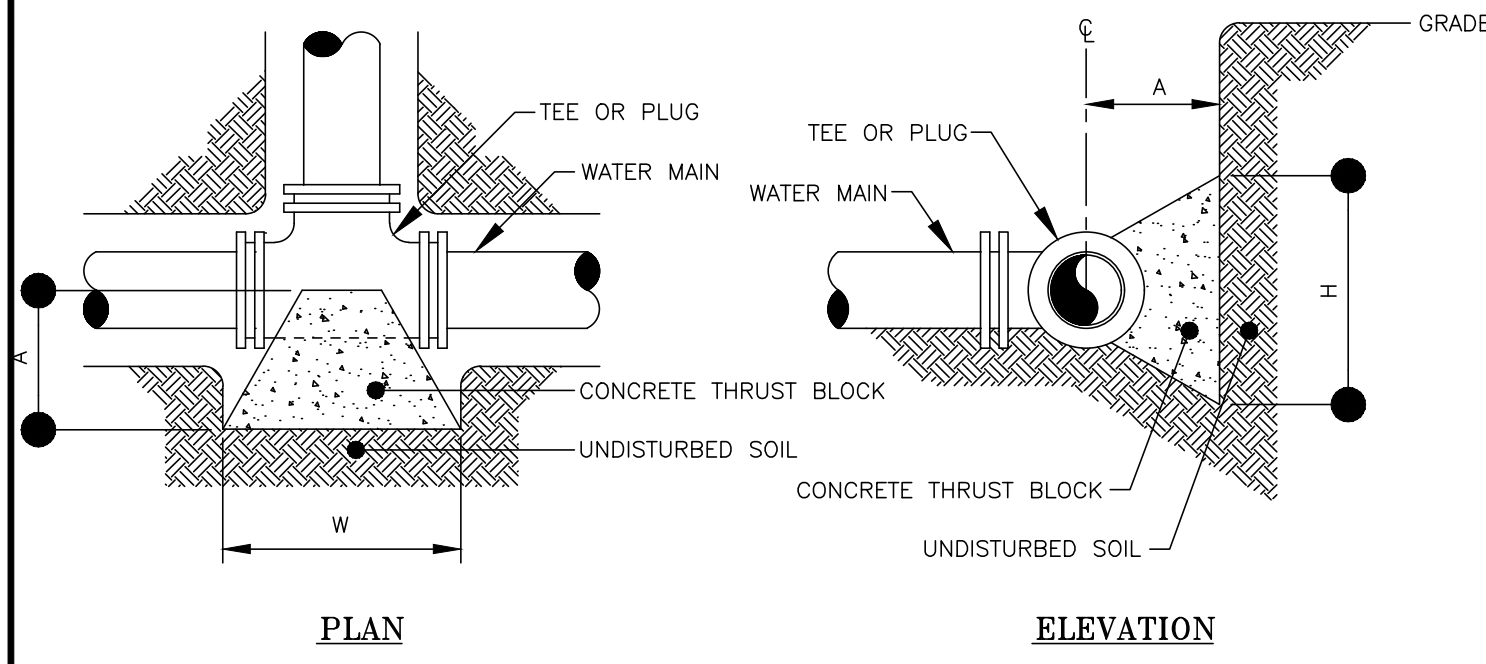


1 HORIZONTAL THRUST BLOCK FOR BENDS



2 VERTICAL THRUST BLOCK

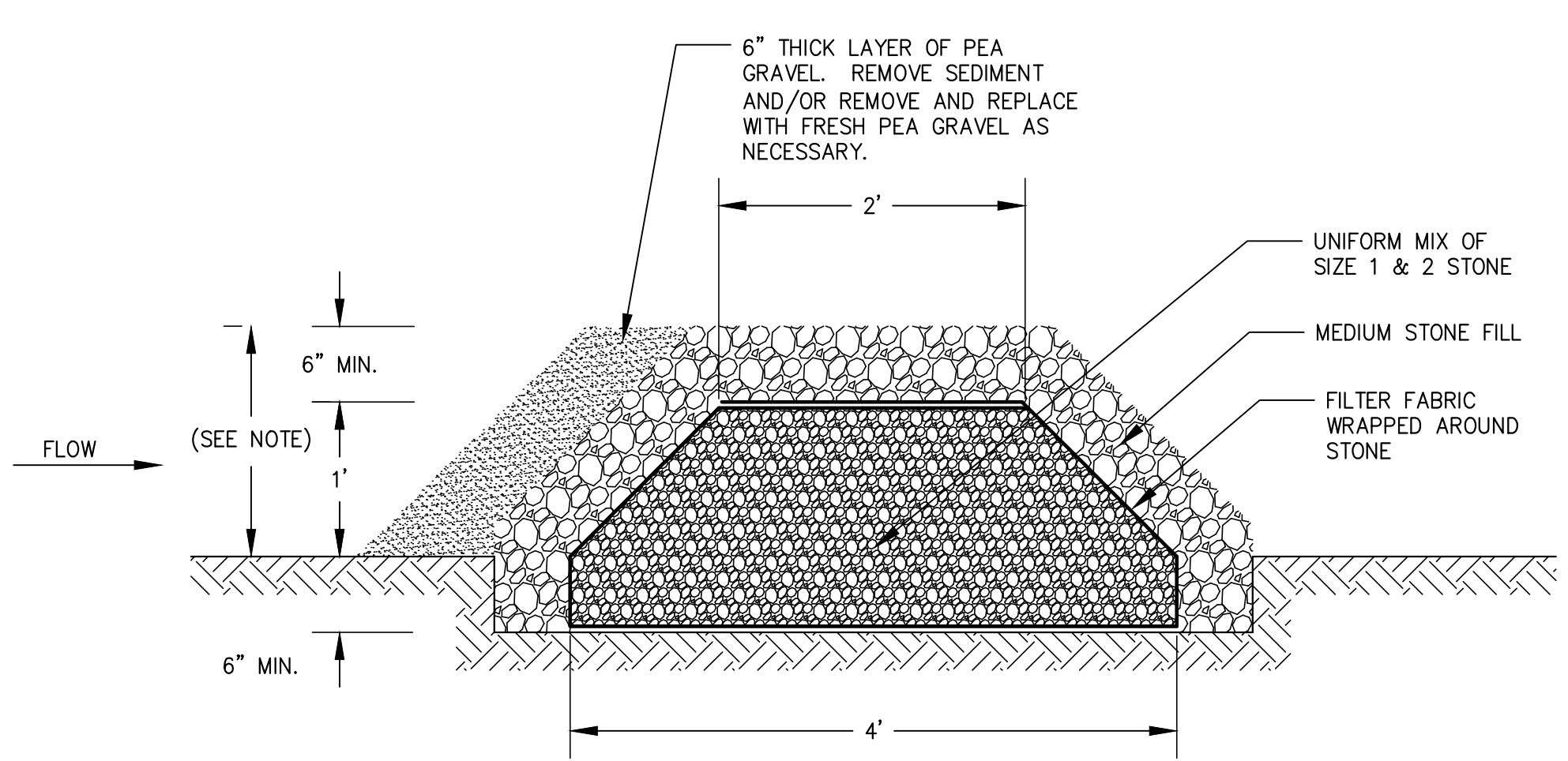
BEND *	MINIMUM VOLUME OF CONCRETE DIMENSIONS	MINIMUM ALLOWABLE DIMENSIONS FOR VERTICAL THRUST BLOCKS (IN FEET)				
		A	B	C	D	E
6" x 11-1/4"	1.00 CY	3.0	1.0	1.3	3.0	1.0
6" x 22-1/2"	1.50 CY	4.0	1.0	1.8	3.0	1.5
6" x 45"	2.50 CY	6.0	1.5	2.0	3.0	1.7



3 HORIZONTAL THRUST BLOCK TEES AND PLUGS

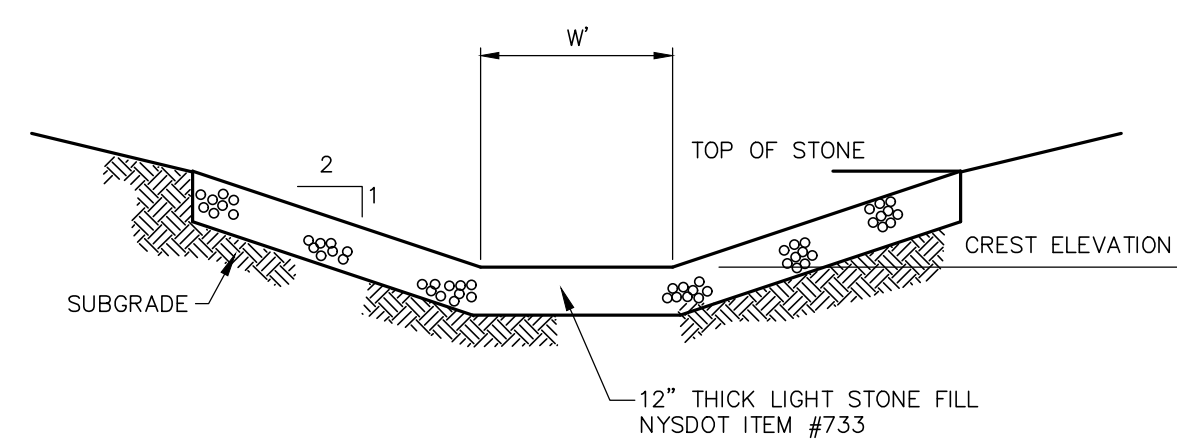
MINIMUM HORIZONTAL THRUST BLOCK DIMENSIONS, IN FEET, TO BE POURED AGAINST UNDISTURBED SOIL			
FITTING *	H	W	A
6" x 11-1/4" BEND	2.0	1.0	2.0
6" x 22-1/2" BEND	2.0	1.0	2.0
6" x 45" BEND	2.0	1.0	2.0
6" x 90" BEND	2.0	1.3	2.4
6" TEE OR PLUG	2.0	1.0	2.0

NOTE: WIDTH (W) OF BLOCK SHALL NOT EXCEED TWICE THE HEIGHT (H).



6 TEMPORARY STONE FILTER

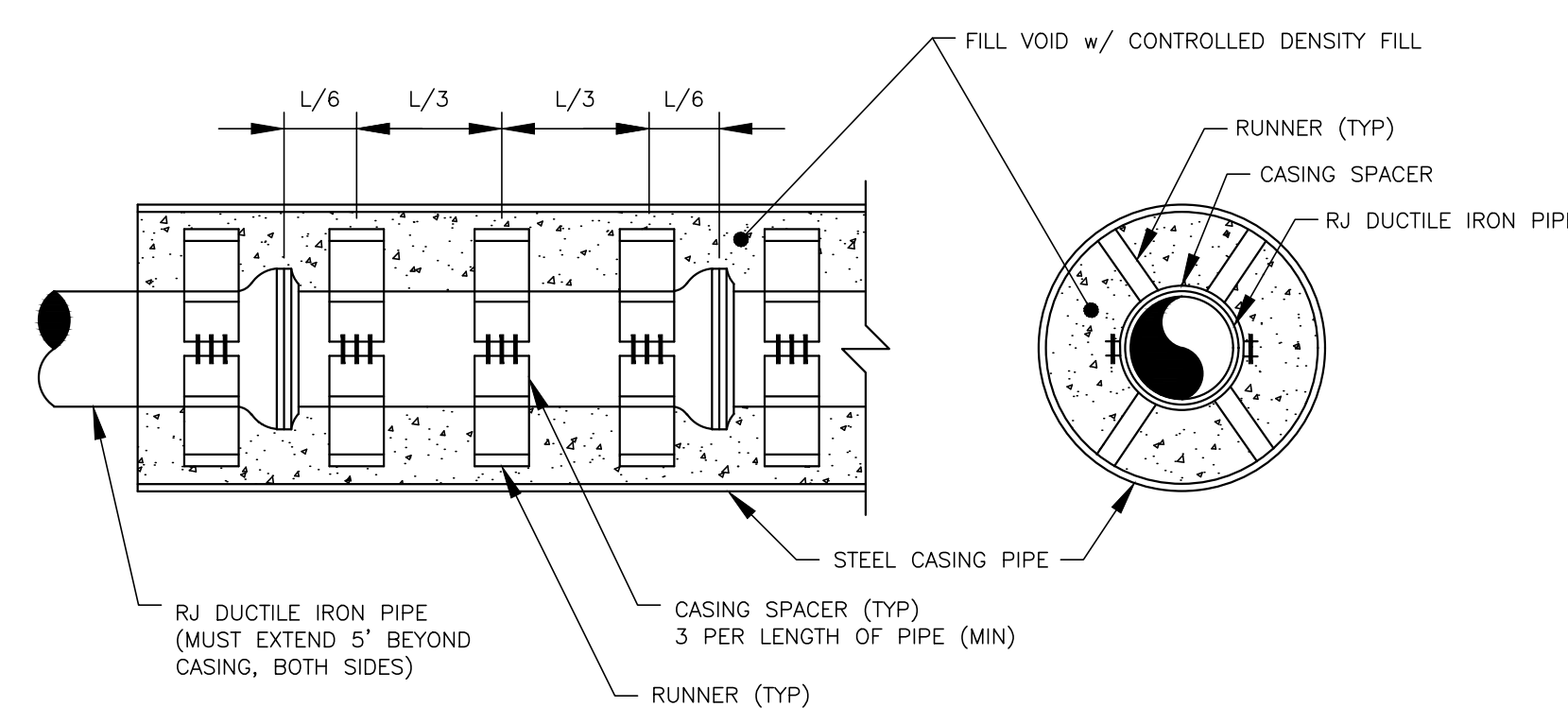
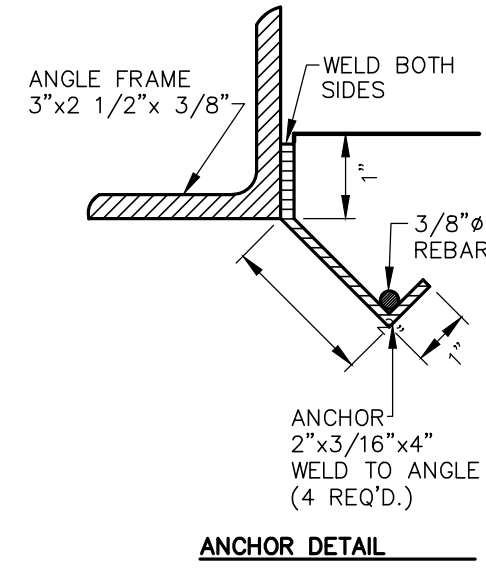
NOTES:  
1. MAX HEIGHT OF STONE FILTER SHALL NOT EXCEED 18" OR AN ELEVATION EQUAL TO 6" LOWER THAN THE ELEVATION OF THE RESPECTIVE POND'S EMERGENCY SPILLWAY.



NOTES:  
1. GRADE SUBGRADE BELOW RIP-RAP PAD SMOOTHLY BEFORE PLACING THE STONES.  
2. PLACE SEPARATION FABRIC UPON SUITABLE SUBGRADE PRIOR TO PLACEMENT OF STONES.  
3. ALL STONES TO BE SPACED 1"-3" APART AND PLACED BY HAND.  
4. RIP-RAP SHALL BE GROUTED WITH LEAN GROUT SUCH THAT NO CAVITY OR VOID SHALL EXIST UNDER THE STONES.  
5. EXTEND GROUTED SPILLWAY DOWN THE INSIDE AND OUTSIDE OF THE POND.  
6. CREST ELEVATION NOTED IN THIS DETAIL SHALL BE TOP OF STONE.

SPILLWAY ID	WIDTH, W	CREST ELEVATION	TOP OF STONE
DETENTION POND #1	8.0 FT	±910.00	±912.0

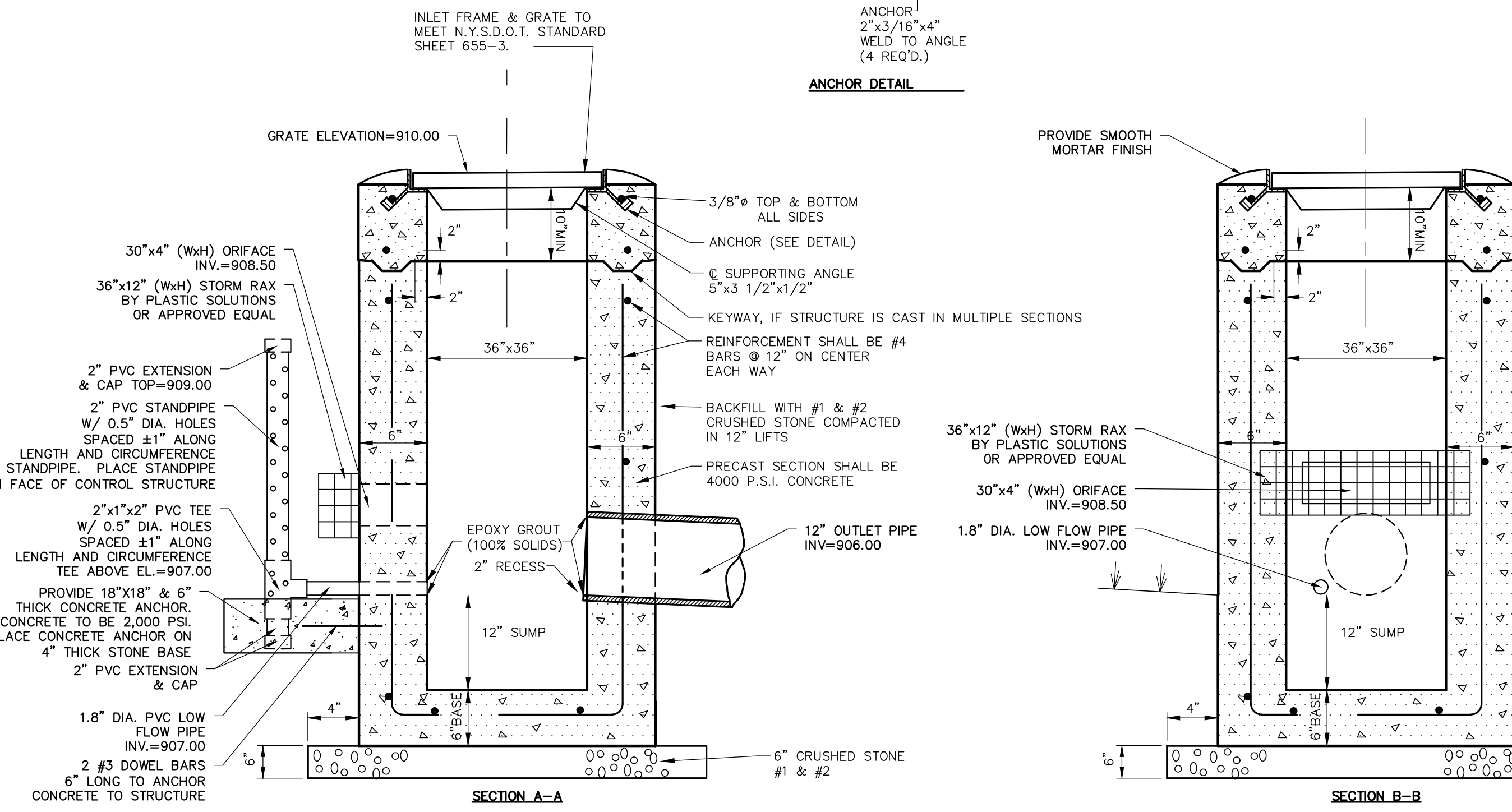
7 EMERGENCY SPILLWAY OUTLET



	CARRIER PIPE	CASING PIPE
CONTENTS	POTABLE WATER	N/A
NOMINAL PIPE SIZE	6"	12"
MATERIAL	DUCTILE IRON PIPE (DIP)	STEEL
SPECIFICATION	PER SPECIFICATIONS	ASTM A-139
GRADE OR CLASS	PER SPECIFICATIONS (SEE NOTE 2)	
JOINT	RESTRAINED JOINT (RJ)	WELDED
COATING	PER SPECIFICATIONS	COAL TAR EPOXY
METHOD OF INSTALLATION	SEE CASING DETAIL	JACK & BORE
CASING ENDS	N/A	AS DETAILED
SUPPORT SPACING	1/2 LENGTH	N/A

NOTE:  
1. EXTEND RJ PIPE 5' (MIN) BEYOND END OF CASING PIPE, BOTH SIDES. RESTRAINED JOINTS WITHIN CASING SHALL BE FIELD LOK 350 GASKETS OR APPROVED EQUAL.  
2. STEEL CASING PIPE SHALL BE CONTINUOUSLY WELDED STEEL PIPE PER ASTM A-139 GRADE B WITH A MINIMUM YIELD STRENGTH OF 36,000 PSI, A MINIMUM TENSILE STRENGTH OF 60,000 PSI, AND A MINIMUM WALL THICKNESS OF 3/8 INCH.  
3. CONTROLLED DENSITY FILL (CDF) SHALL BE K-KRETE (OR APPROVED EQUAL) WITH A COMPRESSIVE STRENGTH OF 50 TO 100 PSI. FLY ASH OR OTHER POZZOLAN-CONTAINING MATERIALS ARE NOT ACCEPTABLE IN THE MIX DESIGN. THE CONSISTENCY SHALL BE SUITABLE FOR PUMPING OR FLOWING INTO THE ANNULAR SPACE BETWEEN A CASING PIPE AND CARRIER PIPE. FILL INTO CASING SPACE FROM ONE END OF CASING. PUMP UNTIL CDF IS EVIDENT AT OTHER END OF CASING AND ALL VOIDS ARE FILLED.  
4. CONTRACTOR SHALL CONTACT ENGINEER IF AN ALTERNATE CASING PIPE SIZING IS REQUIRED BASED ON RUNNER SIZE AND SPECIFIED CLEARANCES.

4 WATER SERVICE CASING



NOTES:  
1. PRE-CAST INLET SECTIONS SHALL BE MANUFACTURED BY KISTNER, MODEL No. CB-24 (WITH KEYWAY) OR APPROVED EQUIVALENT.  
2. THE INSIDE & OUTSIDE WALLS OF INLET SHALL BE COATED WITH BITUMASTIC.

5 CONTROL STRUCTURE #1 (OS#1)

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**SITE DEVELOPMENT PLANS**  
for  
**MAIFLY DEVELOPMENT**  
STATE OF NEW YORK  
TOMPKINS COUNTY  
INTERSECTION OF FREESE ROAD AND DRYDEN ROAD (STATE ROUTE 366)  
TOWN OF DRYDEN

JOB NO:	1096-20
SCALE:	N/A
DRAWN:	AXA
DESIGNED:	AMF
DATE:	07/30/20

REVISIONS		
DATE	BY	REVISION

DATE	BY	REVISION

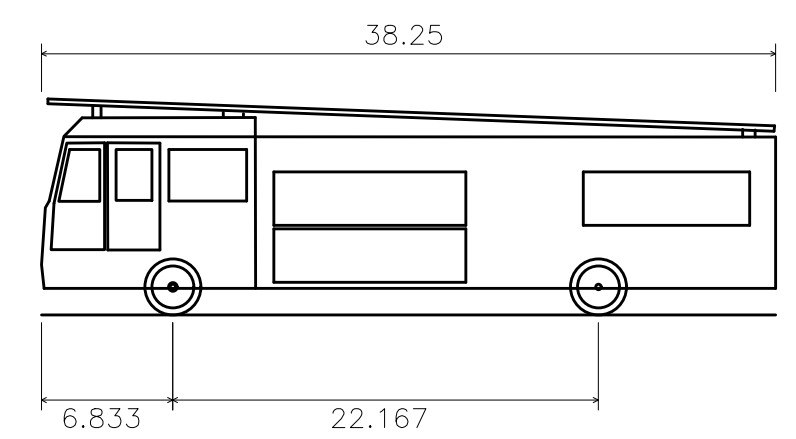
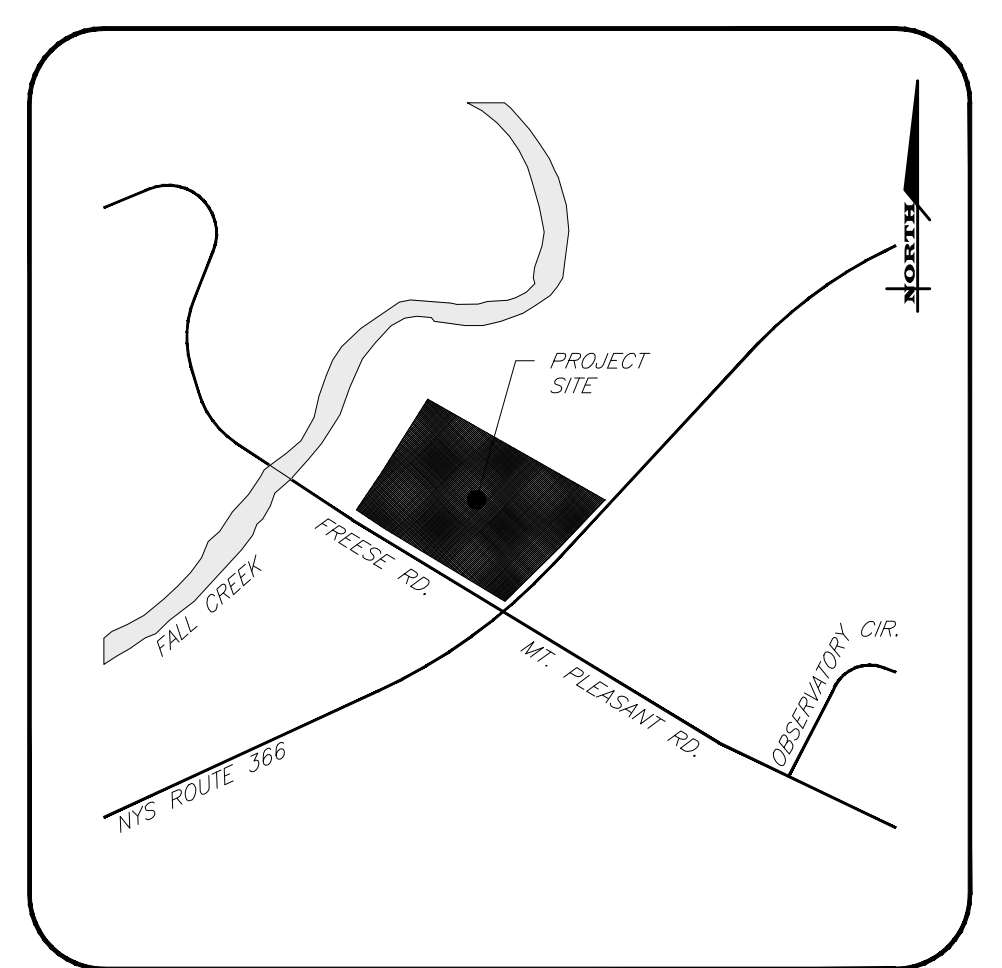
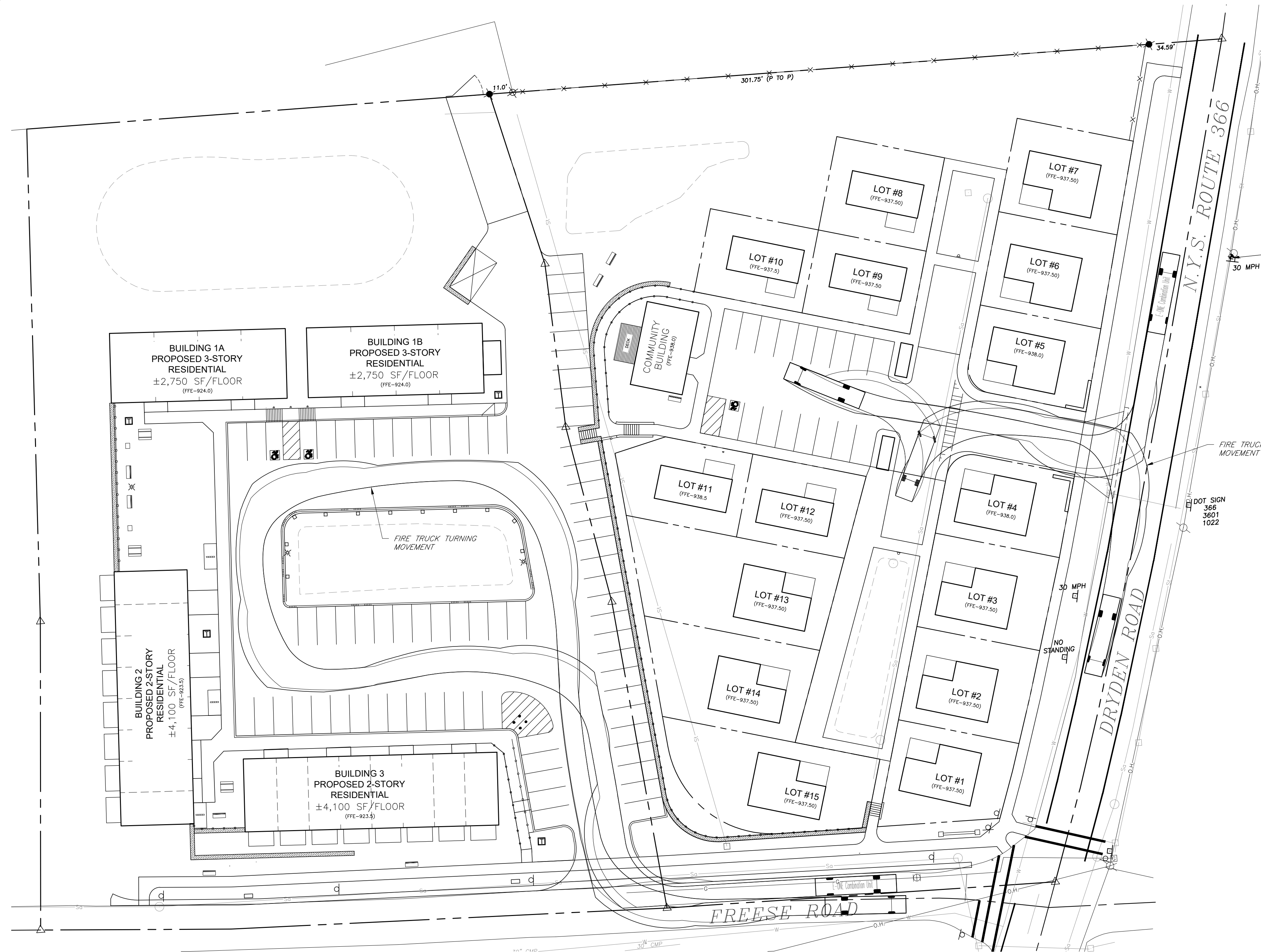
1096-20 MARATHON ENG.  
ADAM M. FISHEL

ADAM M. FISHEL  
REGISTERED PROFESSIONAL ENGINEER  
NO. 08864  
STATE OF NEW YORK

DRAWING TITLE:  
Detail Sheet  
(5 of 5)

14 of 18	C-6.4
SHEET No:	
1096-20	DRAWING No:
JOB No:	

File: I:\Engineering\Job\_Files\1096-20\Drawings\1096-20\_Plans.dwg, Last saved: 10/15/2020, Plot Date: 10/16/2020, Plot Style: MARATHON STANDARD HALF.CTB



Fire Truck	
Overall Length	38.250ft
Overall Width	8.333ft
Overall Body Height	11.250ft
Min Body Ground Clearance	1.393ft
Track Width	8.333ft
Lock-to-lock time	6.00s
Max Wheel Angle	45.00°

1 FIRE TRUCK TEMPLATE  
1"=10'

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**MAIFLY DEVELOPMENT**  
INTERSECTION OF FREESE ROAD AND DRYDEN ROAD (STATE ROUTE 366)  
TOWN OF DRYDEN  
TOMPKINS COUNTY  
STATE OF NEW YORK

JOB NO:	1096-20
SCALE:	1"=30'
DRAWN:	AMF
DESIGNED:	AMF
DATE:	3/04/20

REVISIONS		
DATE	BY	REVISION

I, a registered professional engineer in the State of New York, hereby certify that I am the author of the design and construction of the above described project, and that I am duly licensed to practice my profession in the State of New York.

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ADAM M. FISHEL  
REGISTERED PROFESSIONAL ENGINEER

DRAWING TITLE: Truck Turn Plan	
15 of 18 SHEET No:	C-7.0
1096-20 JOB No:	DRAWING No: