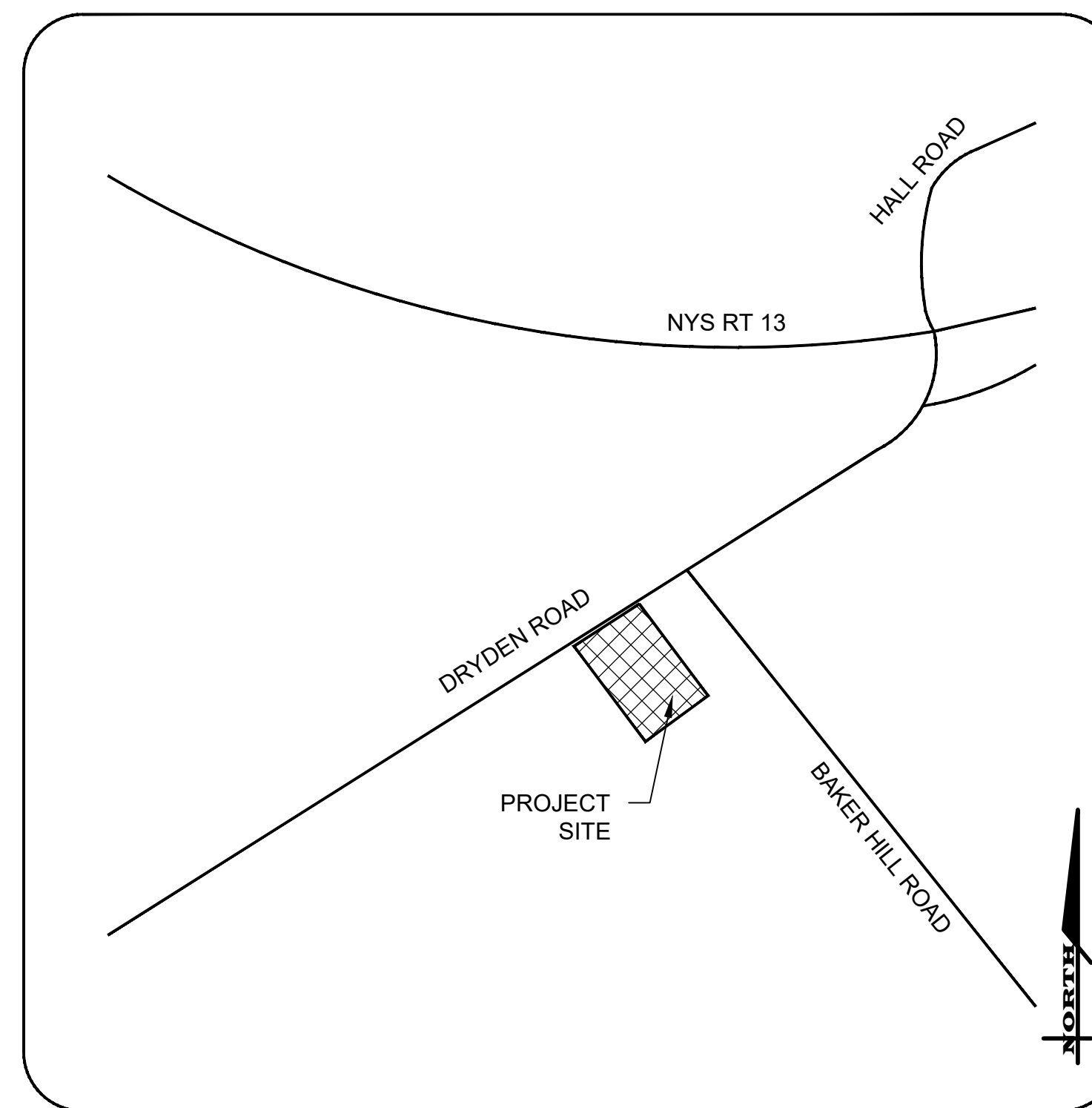


SITE DEVELOPMENT PLANS for PLANTATIONS RESTAURANT RECONSTRUCTION

1285 DRYDEN ROAD

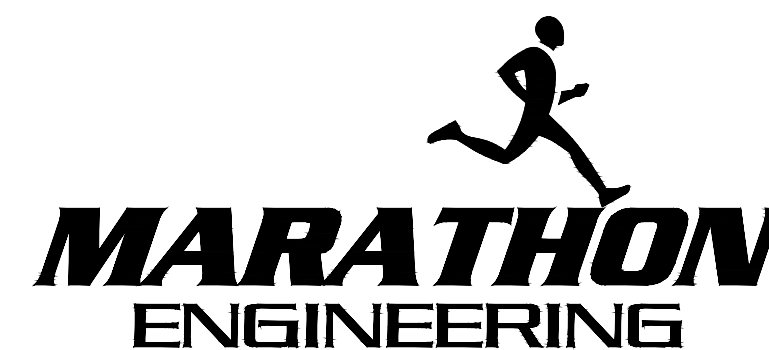
SITUATE IN:

TOWN OF DRYDEN - TOMPKINS COUNTY - STATE OF NEW YORK



LOCATION MAP
N.T.S.

LIST OF DRAWINGS		
NO.	DWG. NO.	DESCRIPTION
-	-	COVER SHEET
-	-	TOPOGRAPHIC MAP
1	C-1.0	DEMOLITION PLAN
2	C-2.0	SITE PLAN
3	C-3.0	GRADING DRAINAGE & EROSION CONTROL PLAN
4	C-4.0	UTILITY PLAN
5	C-5.0	LIGHTING & LANDSCAPING PLAN
6	C-6.0	DETAIL SHEET (1 OF 3)
7	C-6.1	DETAIL SHEET (2 OF 3)
8	C-6.2	DETAIL SHEET (3 OF 3)
10	C-7.0	TRUCK TURN PLAN



ROCHESTER LOCATION
 39 CASCADE DRIVE
 ROCHESTER, NY 14614
 585-458-7770
ITHACA LOCATION
 840 HANSHAW RD, STE 6
 ITHACA, NY 14850
 607-241-2917
www.marathoneng.com

TITLE INFORMATION
 PLANTATION BAR & GRILL, LLC
 INSTRUMENT No. 2021-06390
 TAX MAP No. 52-1-25.4
 AREA= 0.809 ACRES TO ROAD R/W

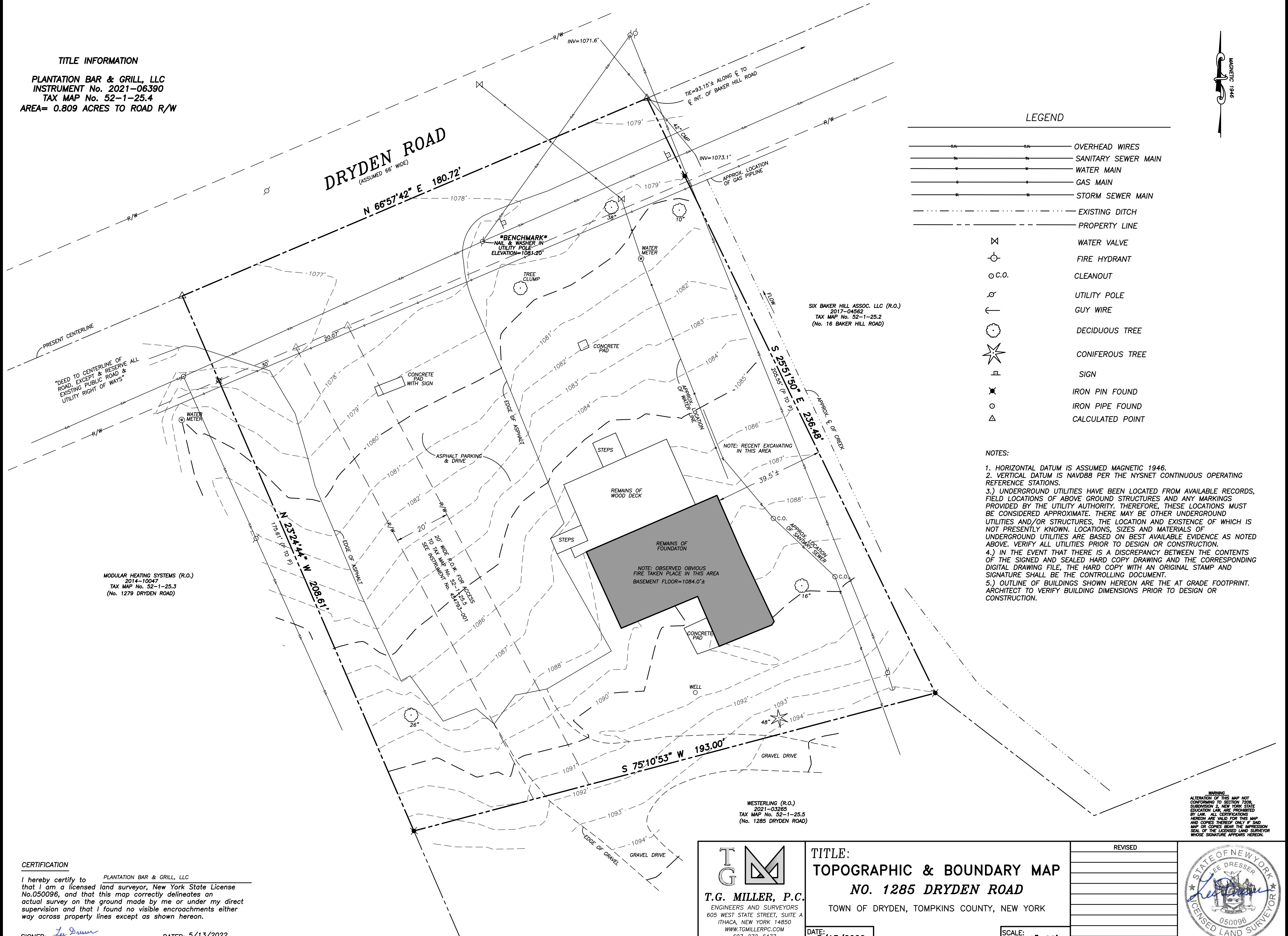


LEGEND

- OVERHEAD WIRES
- SANITARY SEWER MAIN
- WATER MAIN
- GAS MAIN
- STORM SEWER MAIN
- EXISTING DITCH
- PROPERTY LINE
- WATER VALVE
- FIRE HYDRANT
- CLEANOUT
- UTILITY POLE
- GUY WIRE
- DECIDUOUS TREE
- CONIFEROUS TREE
- SIGN
- IRON PIN FOUND
- IRON PIPE FOUND
- CALCULATED POINT

NOTES:

1. HORIZONTAL DATUM IS ASSUMED MAGNETIC 1946.
2. VERTICAL DATUM IS NAVD88 PER THE NYSNET CONTINUOUS OPERATING REFERENCE STATIONS.
- 3.) UNDERGROUND UTILITIES HAVE BEEN LOCATED FROM AVAILABLE RECORDS, FIELD LOCATIONS OF ABOVE GROUND STRUCTURES AND ANY MARKINGS PROVIDED BY THE UTILITY AUTHORITY. THEREFORE, THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITIES AND/OR STRUCTURES, THE LOCATION AND EXISTENCE OF WHICH IS NOT PRESENTLY KNOWN. LOCATIONS, SIZES AND MATERIALS OF UNDERGROUND UTILITIES ARE BASED ON BEST AVAILABLE EVIDENCE AS NOTED ABOVE. VERIFY ALL UTILITIES PRIOR TO DESIGN OR CONSTRUCTION.
- 4.) IN THE EVENT THAT THERE IS A DISCREPANCY BETWEEN THE CONTENTS OF THE SIGNED AND SEALED HARD COPY DRAWING AND THE CORRESPONDING DIGITAL DRAWING FILE, THE HARD COPY WITH AN ORIGINAL STAMP AND SIGNATURE SHALL BE THE CONTROLLING DOCUMENT.
- 5.) OUTLINE OF BUILDINGS SHOWN HEREON ARE THE AT GRADE FOOTPRINT. ARCHITECT TO VERIFY BUILDING DIMENSIONS PRIOR TO DESIGN OR CONSTRUCTION.



MODULAR HEATING SYSTEMS (R.O.)
 2014-10047
 TAX MAP No. 52-1-25.3
 (No. 1279 DRYDEN ROAD)

SIX BAKER HILL ASSOC. LLC (R.O.)
 2017-04562
 TAX MAP No. 52-1-25.2
 (No. 16 BAKER HILL ROAD)

WESTERLING (R.O.)
 2021-03265
 TAX MAP No. 52-1-25.5
 (No. 1285 DRYDEN ROAD)

WARNING
 ALTERATION OF THIS MAP NOT CONFORMING TO SECTION 7209, SUBDIVISION 2, NEW YORK STATE EDUCATION LAW, ARE PROHIBITED BY LAW. ALL CERTIFICATIONS HEREON ARE VALID FOR THIS MAP AND COPIES THEREOF ONLY IF SAID MAP OR COPIES BEAR THE IMPRESSION SEAL OF THE LICENSED LAND SURVEYOR WHOSE SIGNATURE APPEARS HEREON.

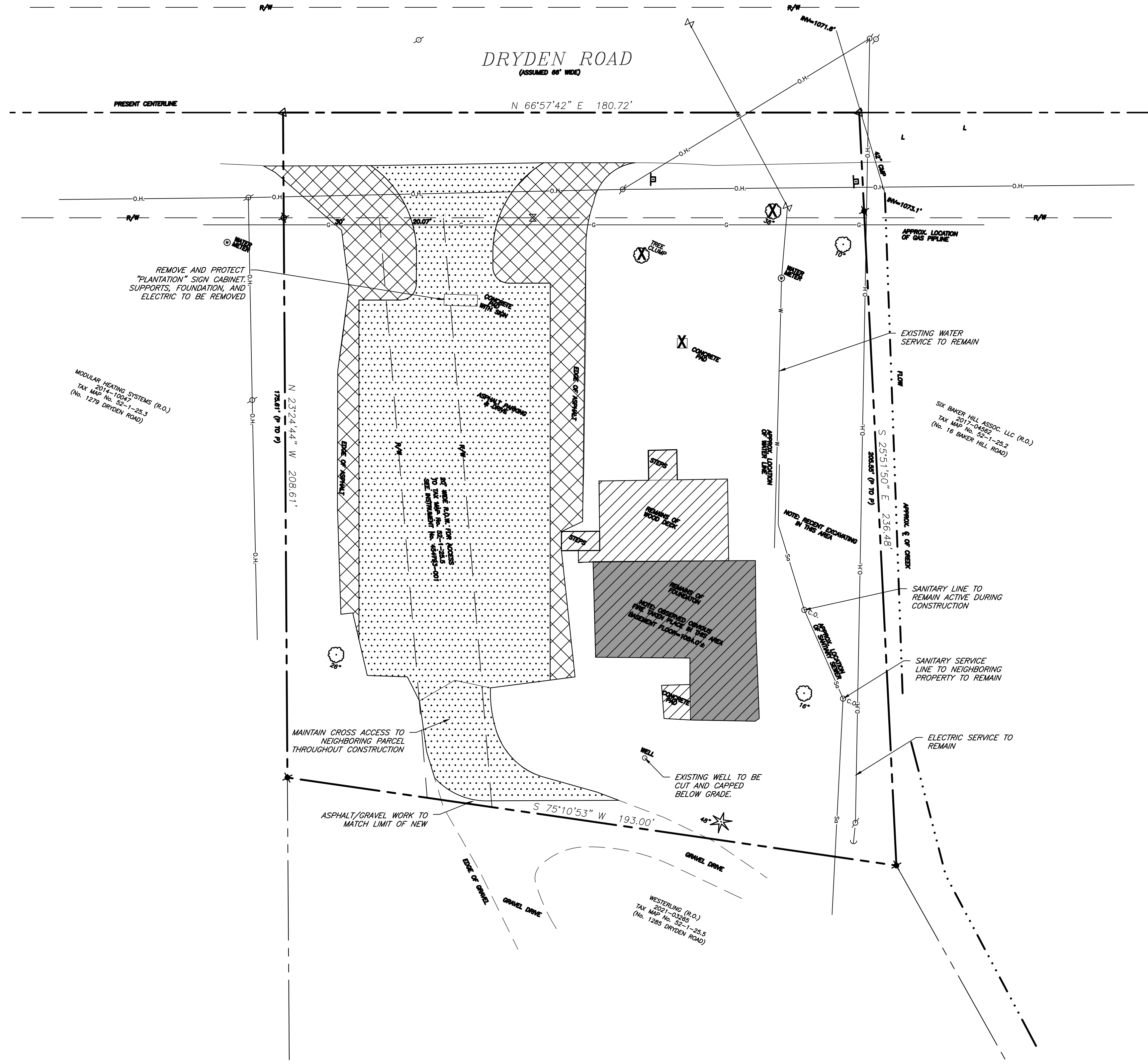
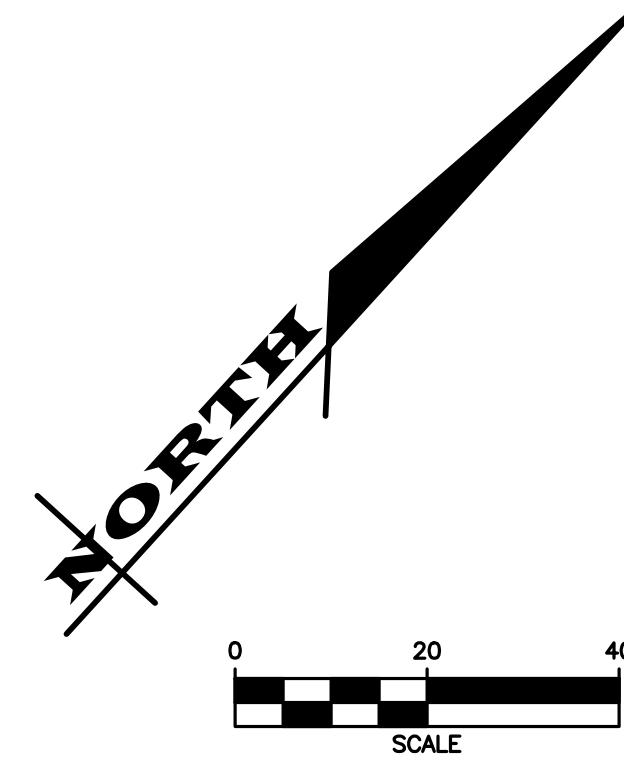
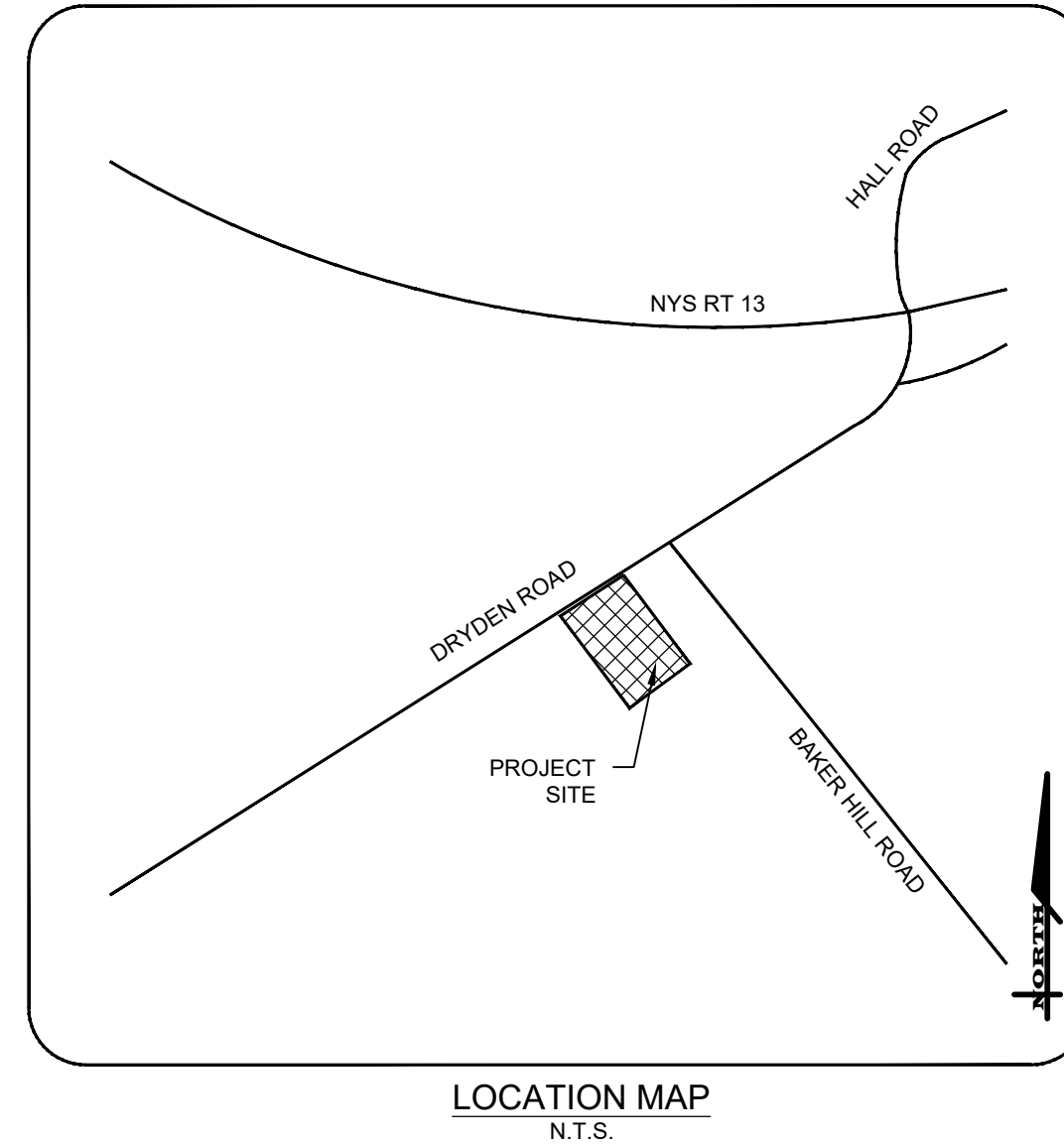
CERTIFICATION

I hereby certify to PLANTATION BAR & GRILL, LLC that I am a licensed land surveyor, New York State License No.050096, and that this map correctly delineates an actual survey on the ground made by me or under my direct supervision and that I found no visible encroachments either way across property lines except as shown hereon.

SIGNED: Lee Dresser DATED: 5/13/2022

 T.G. MILLER, P.C. ENGINEERS AND SURVEYORS 605 WEST STATE STREET, SUITE A ITHACA, NEW YORK 14850 WWW.TGMILLERPC.COM 607-272-6477	TITLE: TOPOGRAPHIC & BOUNDARY MAP NO. 1285 DRYDEN ROAD TOWN OF DRYDEN, TOMPKINS COUNTY, NEW YORK	REVISED _____ _____ _____ _____ _____	
	DATE: 5/13/2022	SCALE: 1"=20'	

SITE DEVELOPMENT PLANS
 for
PLANTATIONS COMMERCIAL



DEMOLITION NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES PIPES, STRUCTURES, UTILITIES, ETC. SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO A SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL PER THE FOLLOWING RECOMMENDATIONS:
 - AREAS WITHIN NEW BUILDING FOOTPRINT (INCLUDING SIDEWALKS): IMPORTED STRUCTURAL FILL (NYS DOT 304.14 SHALL BE USED TO BACKFILL THESE AREAS PLACED IN LOOSE LIFTS NOT EXCEEDING 12" AND COMPACTED TO THE MAXIMUM DRY DENSITIES NOTED IN THE EARTHWORK NOTES.
 - AREAS OUTSIDE NEW BUILDING FOOTPRINT: THESE AREAS MAY BE BACKFILLED WITH SUITABLE ON-SITE MATERIAL PLACED IN LOOSE LIFTS NOT EXCEEDING 12" AND COMPACTED TO THE MAXIMUM DRY DENSITIES NOTED IN THE EARTHWORK NOTES. IN LIEU OF USING SUITABLE ON-SITE MATERIAL IN AREAS OUTSIDE THE BUILDING FOOTPRINT AS FILL, NYS DOT ITEM 203.07 (SELECT GRANULAR) FILL MAY BE USED.
 THE USE OF ALTERNATE BACKFILL/FILL MATERIALS SHALL BE EVALUATED ON A CASE-BY-CASE BASIS BY THE PROJECT'S GEOTECHNICAL ENGINEER PRIOR TO USE.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING OF IT IN A LEGAL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
- THE CONTRACTOR SHALL MAINTAIN ALL UTILITY SERVICES TO ANY EXISTING BUILDING/FACILITY TO REMAIN AT ALL TIMES.
- THE CONTRACTOR SHALL COORDINATE WITH THE RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND RELOCATION OF ANY UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR SUCH SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
- THIS PLAN DOES NOT SHOW ALL ITEMS TO BE DEMOLISHED, ABANDONED AND/OR REMOVED. EXISTING STRUCTURES WITHIN THE CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED, OR RELOCATED AS NECESSARY, UNLESS SPECIFIED OTHERWISE. ALL COSTS SHALL BE INCLUDED IN BASE BID.
- THE CONTRACTOR ACCEPTS ALL RESPONSIBILITY OF SALVAGED MATERIALS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISCONNECTION OF UTILITY SERVICES TO THE EXISTING BUILDING PRIOR TO DEMOLITION.
- ALL UTILITIES WITHIN PROPOSED BUILDING FOOTPRINTS (INCLUDING 5 FEET BEYOND THE PERIMETER) SHALL BE REMOVED AND THE EXCAVATION AREA SHALL BE BACKFILLED AND COMPACTED PER THE CONSTRUCTION DOCUMENTS.
- THE CONTRACTOR SHALL FILL ALL ABANDONED UTILITY PIPES AND STRUCTURES WITH CONTROL DENSITY FILL. ALL ABANDONED PIPES AND STRUCTURES WITHIN 2' OF PROPOSED FINISHED GRADE SHALL BE REMOVED UNLESS SPECIFIED OTHERWISE. AT MANHOLES AND STRUCTURES TO REMAIN, ABANDONED PIPES SHALL BE CUT AND PLUGGED AND THE REMAINING OPENING IN THE MANHOLE/STRUCTURE SHALL BE FILLED SO TO MATCH THE REMAINING STRUCTURE/MANHOLE. THE CONTRACTOR HAS THE OPTION TO REMOVE THOSE UTILITIES TO BE ABANDONED AT NO ADDITIONAL COST TO THE OWNER.
- REMOVAL OR ABANDONMENT OF UTILITIES, DRIVEWAYS, STRUCTURES, ETC. SHALL ONLY BE PERFORMED AFTER CRITICAL NEW OR TEMPORARY INFRASTRUCTURE IS IN PLACE AND OPERATIONAL (I.E. UTILITIES, DRAINAGE, PAVING, ACCESSIBLE PARKING, ETC.). THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING PROPER AND SAFE SEQUENCING.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO ALL UTILITIES, STORM DRAINAGE, SIGNS, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH THE GOVERNING AUTHORITY'S SPECIFICATIONS AND SHALL BE APPROVED BY THE AUTHORITY PRIOR TO THE START OF WORK. COSTS FOR SUCH RELOCATIONS SHALL BE INCLUDED IN THE BASE BID.
- THE CONTRACTOR SHALL VERIFY OVERHEAD UTILITY ELEVATIONS TO AVOID CONFLICTS.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC, AND/OR GAS LINES NEEDING RELOCATION OR REMOVAL. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY IN AN EFFORT TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY SERVICES INCLUDING BUT NOT LIMITED TO: GAS, ELECTRIC, TELEPHONE, STORM DRAINAGE, SANITARY SEWAGE, COMMUNICATIONS, HEAT, ETC. THROUGHOUT ALL PHASES OF CONSTRUCTION. COSTS FOR SUCH TEMPORARY SERVICES SHALL BE INCLUDED IN THE BASE BID.
- THE CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC. AS REQUIRED BY THE OWNER, TOWN OF DRYDEN, AND/OR THE ENGINEER.
- THE CONTRACTOR SHALL MAINTAIN ACCESS TO THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF EXISTING FACILITIES AND CONSTRUCTION OF NEW SITE/BUILDING IMPROVEMENTS.

LEGEND:

- AREA OF ASPHALT REMOVAL, REMOVE DETERIORATED LAYER OF ASPHALT ONLY, SUBBASE TO REMAIN.
- EXISTING STRUCTURE TO BE DEMOLISHED
- AREA OF FULL DEPTH PAVEMENT REMOVAL
- ITEM TO BE REMOVED

JOB NO: 1453-22
 SCALE: 1"=20'
 DRAWN: REA
 DESIGNED: AMF
 DATE: 9/9/2022

REVISIONS		
DATE	BY	REVISION

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW, ARTICLE 141, SECTION 120(2) FOR AN ARCHITECT OR ENGINEER TO SEAL THE DRAWING OF A PROJECT FOR WHICH HE OR SHE IS NOT A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO SEAL IN ANY WAY, OR TO BEAR THE SEAL OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR, IF AN ARCHITECT OR ENGINEER OR LAND SURVEYOR HAS BEEN TO THE DRAW THESE PLANS AND THE ARCHITECT OR ENGINEER OR LAND SURVEYOR HAS NOT BEEN TO THE DRAW THESE PLANS AND THE ARCHITECT OR ENGINEER OR LAND SURVEYOR HAS NOT BEEN TO THE DRAW THESE PLANS.

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ADAM M. FISHEL

DRAWING TITLE:
Demolition Plan

1 of 9
 SHEET No: **C-1.0**

1453-22
 JOB No: DRAWING No:

PROJECT STATISTICS

1. GENERAL:

- 1.1 PROPERTY OWNER - DANIELLE MAGUIRE
- 1.2 PROPERTY ADDRESS - 1285 DRYDEN ROAD, DRYDEN, NEW YORK 14850

2. ZONING REGULATIONS:

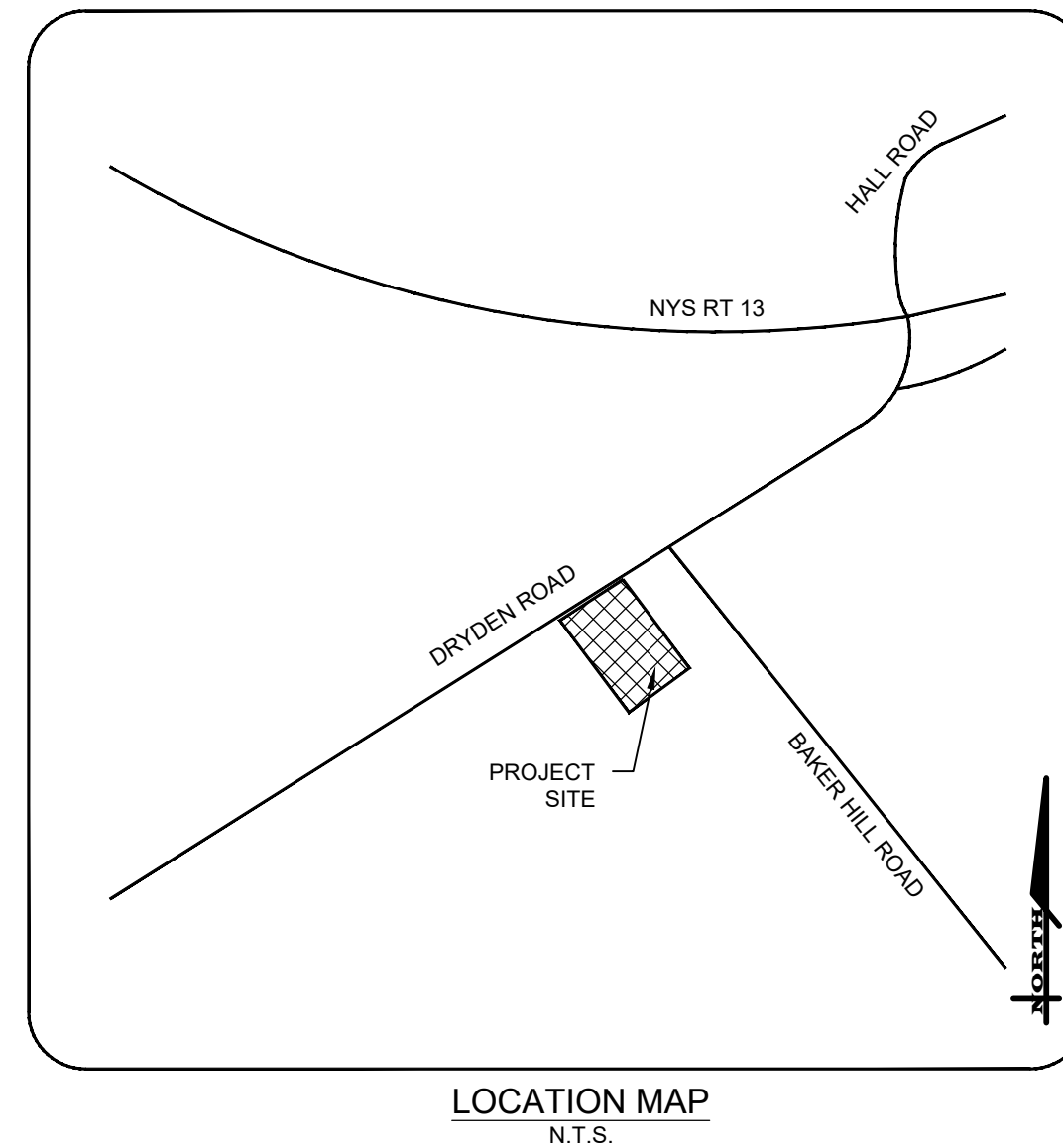
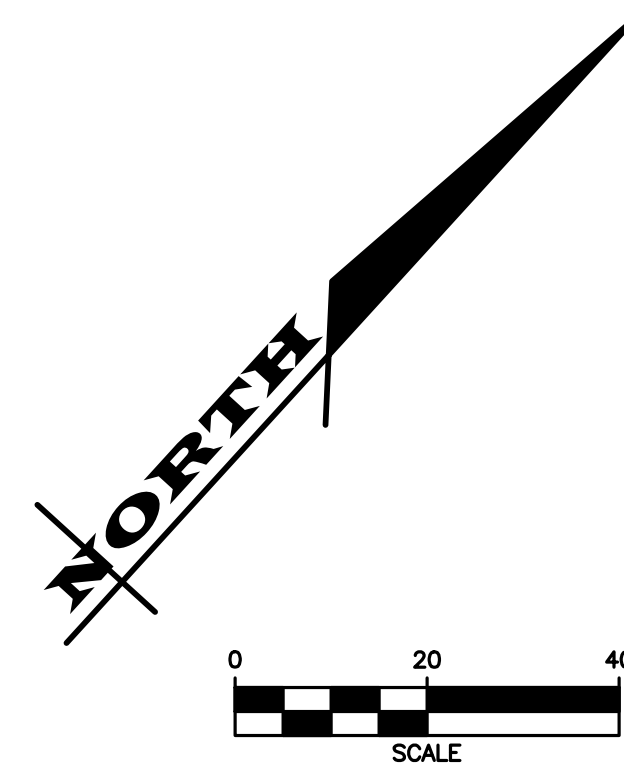
- 2.1 ZONING DISTRICT - MIXED USE COMMERCIAL DISTRICT
- 2.2 CODE REQUIREMENTS -

	REQUIRED	PROVIDED	VARIANCE REQ'D
MINIMUM FRONT YARD SETBACK	40'	±82.6'	NO
MINIMUM REAR YARD SETBACK	25'	±32.1'	NO
MINIMUM SIDE YARD SETBACK	7.5'	±39.5'	NO
MAXIMUM BUILDING HEIGHT	35'	±35'	NO
MAXIMUM LOT COVERAGE	60% MAX.	54%	NO
MINIMUM PARKING SPACE SIZE	-	9'X18'	NO
NUMBER OF PARKING SPACES			
STANDARD SPACES	27 MAX	27	NO
ADA ACCESSIBLE SPACES	1	1	NO
TOTAL	28*	28	

*PARKING CALCULATED AS 1 SPACE PER 150 SF OF FLOOR AREA. NOT TO EXCEED 120% OF THE MINIMUM SPACES REQUIRED. 3600 SF TOTAL INCLUDING OUTDOOR DINING SEATING OR 24 MINIMUM PARKING AND 28 MAXIMUM SPACES.

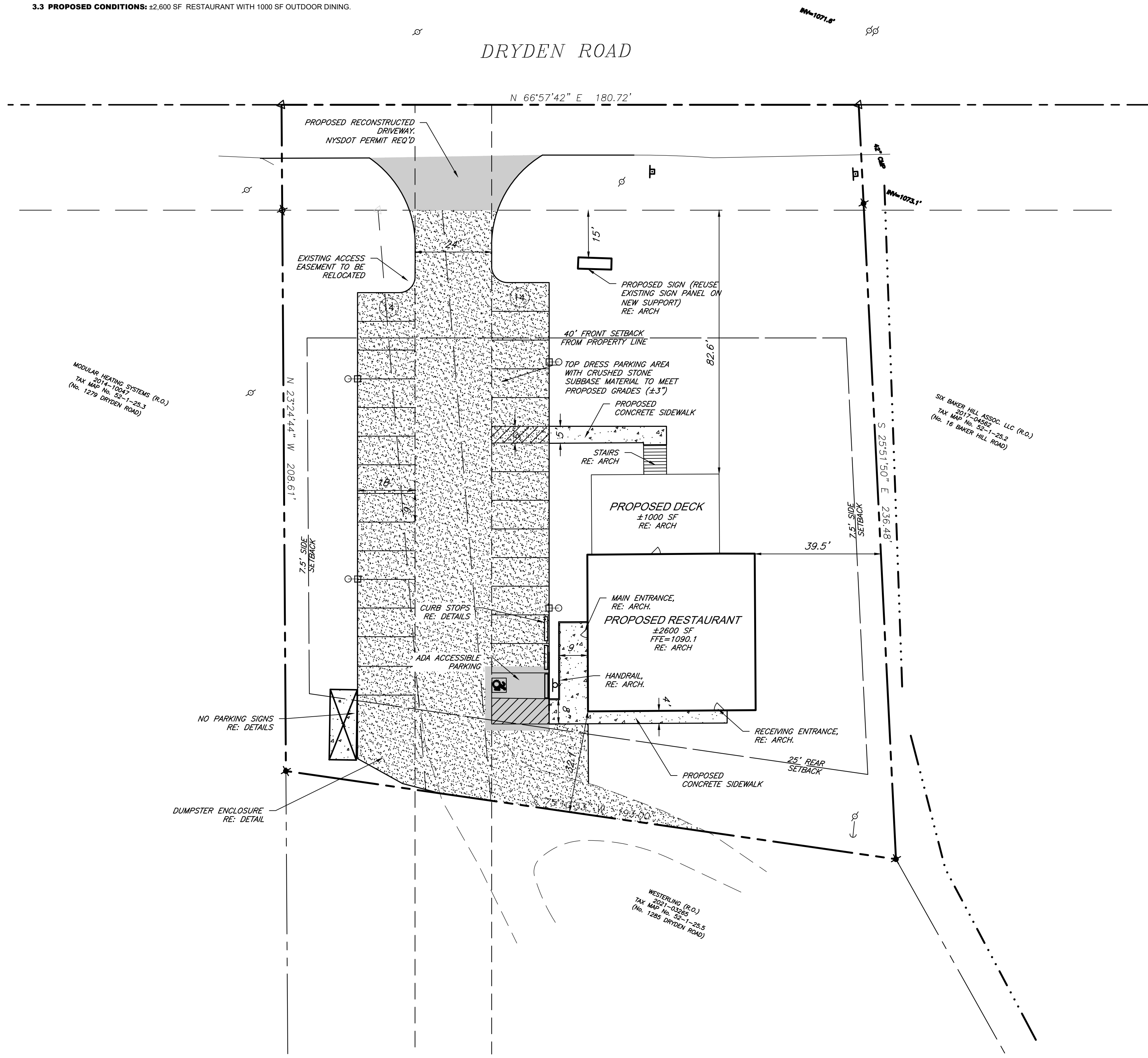
3. PARCEL STATISTICS:

- 3.1 AREA - ±0.95 ACRES
- 3.2 EXISTING CONDITIONS: MIXED USE COMMERCIAL DISTRICT
- 3.3 PROPOSED CONDITIONS: ±2,600 SF RESTAURANT WITH 1000 SF OUTDOOR DINING.



MARATHON ENGINEERING
 ROCHESTER LOCATION
 39 CASCADE DRIVE
 ROCHESTER, NY 14614
 585-458-7770
 ITHACA LOCATION
 840 HANSHAW RD, STE 6
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SITE DEVELOPMENT PLANS
 for
PLANTATIONS COMMERCIAL
 STATE OF NEW YORK
 1285 DRYDEN ROAD
 TOMPKINS COUNTY
 TOWN OF DRYDEN



GENERAL

1. **APPLICABILITY** - THE NOTES AND INFORMATION PROVIDED ON THIS SHEET ARE APPLICABLE TO ALL "C" SERIES DRAWINGS. THE "C" SERIES DRAWINGS COVER SITE RELATED IMPROVEMENTS OUTSIDE THE BUILDING ENVELOPE. THE BUILDING ENVELOPE INCLUDES ALL AREA WITHIN 5' OUTSIDE OF THE BUILDING'S EXTERIOR WALL.
2. **MAPPING** - THE EXISTING UNDERGROUND UTILITIES WERE PLOTTED BASED ON RECORD MAPPING SUPPLIED BY OTHERS. THE ENGINEER MAKES NO WARRANTY AS TO THE LOCATION, SIZE, TYPE, ELEVATION, AND/OR NUMBER OF EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE VICINITY OF THE NEW INFRASTRUCTURE.
3. **STAKEOUT** - THE CONTRACTOR SHALL NOTIFY U DIG NEW YORK (1-800-962-7962) FOR A UTILITY STAKEOUT 48 HOURS IN ADVANCE OF COMMENCING WORK. STAKEOUT OF PRIVATE UTILITIES SHALL BE COORDINATED WITH THE OWNER.
4. **PROPERTY PROTECTION** - THE CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO EXISTING PAVEMENT, CURBS, WALKS, LAWNS, TREES, ETC. CAUSED BY THEIR CONSTRUCTION OPERATIONS. ALL DAMAGE SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR TO THE OWNER'S SATISFACTION AT NO ADDITIONAL EXPENSE.
5. **ACCESS** - THE CONTRACTOR SHALL PROVIDE SATISFACTORY VEHICULAR ACCESS TO ALL ADJOINING PROPERTIES, PRIVATE ROADWAYS, PARKING FACILITIES, AND PUBLIC STREETS DURING CONSTRUCTION.
6. **SITE SAFETY** - PRIOR TO AND THROUGHOUT CONSTRUCTION, THE CONTRACTOR SHALL POST SIGNAGE IN CONFORMANCE WITH THE REQUIREMENTS OF THE LOCAL MUNICIPALITY AND OCCUPATIONAL HEALTH AND SAFETY ACT (OHSAA). JOB SAFETY AND MAINTENANCE AND PROTECTION OF TRAFFIC IS THE RESPONSIBILITY OF THE CONTRACTOR.
7. **EXCAVATIONS** - ALL EXCAVATIONS SHALL BE BACKFILLED/BARRICADED TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT THE CONCLUSION OF EACH WORKING DAY.
8. **MAINTENANCE** - PUBLIC STREETS, PRIVATE DRIVES AND PARKING FACILITIES SHALL BE KEPT FREE OF FOREIGN MATERIALS. ALL AREAS SHALL BE SWEEPED CLEAN AT THE END OF EACH WORKING DAY AND/OR AS DIRECTED BY THE OWNER'S ON-SITE REPRESENTATIVE.
9. **CONSTRUCTION STORAGE** - STORAGE OF EQUIPMENT AND MATERIALS SHALL BE WITHIN A SPECIFIED AND SECURED AREA AS DETERMINED IN CONTRACT DOCUMENTS OR AS SPECIFIED BY THE OWNER'S ON-SITE REPRESENTATIVE.
10. **PERMIT(S)** - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN THE NECESSARY PERMITS FROM THE APPLICABLE MUNICIPALITY OR AGENCY. UNLESS SPECIFIED OTHERWISE, THE OWNER IS RESPONSIBLE FOR PERMIT FEES.
11. **SPECIFICATIONS** - TECHNICAL SPECIFICATIONS, IF SUPPLIED AS PART OF CONTRACT DOCUMENTS, ARE INTENDED TO AID AND HELP DEFINE THE CONTRACTOR'S WORK SCOPE. IF DISCREPANCIES OCCUR THE CONTRACTOR SHALL REQUEST A CLARIFICATION.

CONSTRUCTION

1. **STAKEOUT** - THE CONSTRUCTION STAKEOUT SHALL BE PERFORMED BY A LICENSED LAND SURVEYOR USING CONTROL PROVIDED ON THE "LAYOUT PLAN". THE BUILDING FOOTPRINT(S) SHOWN IS BASED ON THE FOUNDATION PLAN PROVIDED BY CLAUDIA BRENNER ON 2/16/22. DISCREPANCIES WITH BUILDING(S), CONTROL POINTS, AND/OR THE DIMENSIONS SHALL BE REPORTED TO THE DESIGN ENGINEER (PRIOR TO THE INSTALLATION OF IMPROVEMENTS) FOR COORDINATION AND CLARIFICATION.
2. **LAYOUT** - DIMENSIONS SHOWN, WHERE APPLICABLE, SHALL BE FROM THE FACE OF CURB UNLESS SPECIFICALLY CALLED OUT OTHERWISE.
3. **DEMOLITION** - CLEARING AND GRUBBING SHALL BE LIMITED TO THE SITE BOUNDARIES OR WITHIN THE "LIMIT OF DISTURBANCE" AS DEFINED ON THE PLAN. TREES AND OBJECTS DESIGNATED FOR REMOVAL SHALL BE COORDINATED AND FIELD VERIFIED WITH PROJECT ON-SITE REPRESENTATIVE. ALL MATERIALS SHALL BE LEGALLY DISPOSED OF OFF-SITE OR RETURNED TO OWNER AS DIRECTED BY CONTRACT DOCUMENTS. ALL ITEMS NOT SPECIFICALLY CALLED OUT TO BE REMOVED SHALL REMAIN.
4. **COORDINATION** - THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITY WORK WITH OTHER SITE UTILITIES (I.E. GAS, ELECTRIC, LIGHTING, COMMUNICATIONS) TO AVOID POTENTIAL INSTALLATION CONFLICTS.
5. **STAGING** - AS DEFINED BY THE CONTRACT DOCUMENTS THE CONTRACTOR SHALL CONSTRUCT A SECURE STAGING AREA FOR STORAGE OF EQUIPMENT, MATERIALS, EMPLOYEE PARKING AND OFFICE SPACE. IF THE AREAMETHOD IS NOT SPECIFICALLY DEFINED ON THE DOCUMENTS THEN IT SHALL BE COORDINATED WITH THE OWNER'S ON-SITE REPRESENTATIVE.
6. **CLOSE-OUT** - THE CONTRACTOR'S WORK SCOPE INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING AT PROJECT CLOSE-OUT TO THE SATISFACTION OF OWNER'S ON-SITE REPRESENTATIVE:
 - REMOVAL OF ANY CONSTRUCTION DEBRIS
 - CLEANING PAVEMENT AND WALKWAY SURFACES.
 - RESTORATION OF ALL DISTURBED GRASS AND LANDSCAPED AREAS.
 - PROVIDING BONDS, GUARANTEES, CERTIFICATIONS, ETC. AS REQUIRED BY CONTRACT DOCUMENTS
 - PROVIDING A RECORD DRAWING.
 - COMPLETION OF FINAL PUNCH LIST ITEMS.

JOB NO: 1453-22
 SCALE: 1"=20'
 DRAWN: REA
 DESIGNED: AMF
 DATE: 9/9/2022

REVISIONS		
DATE	BY	REVISION

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ADAM M. FISHEL
 LICENSED PROFESSIONAL ENGINEER

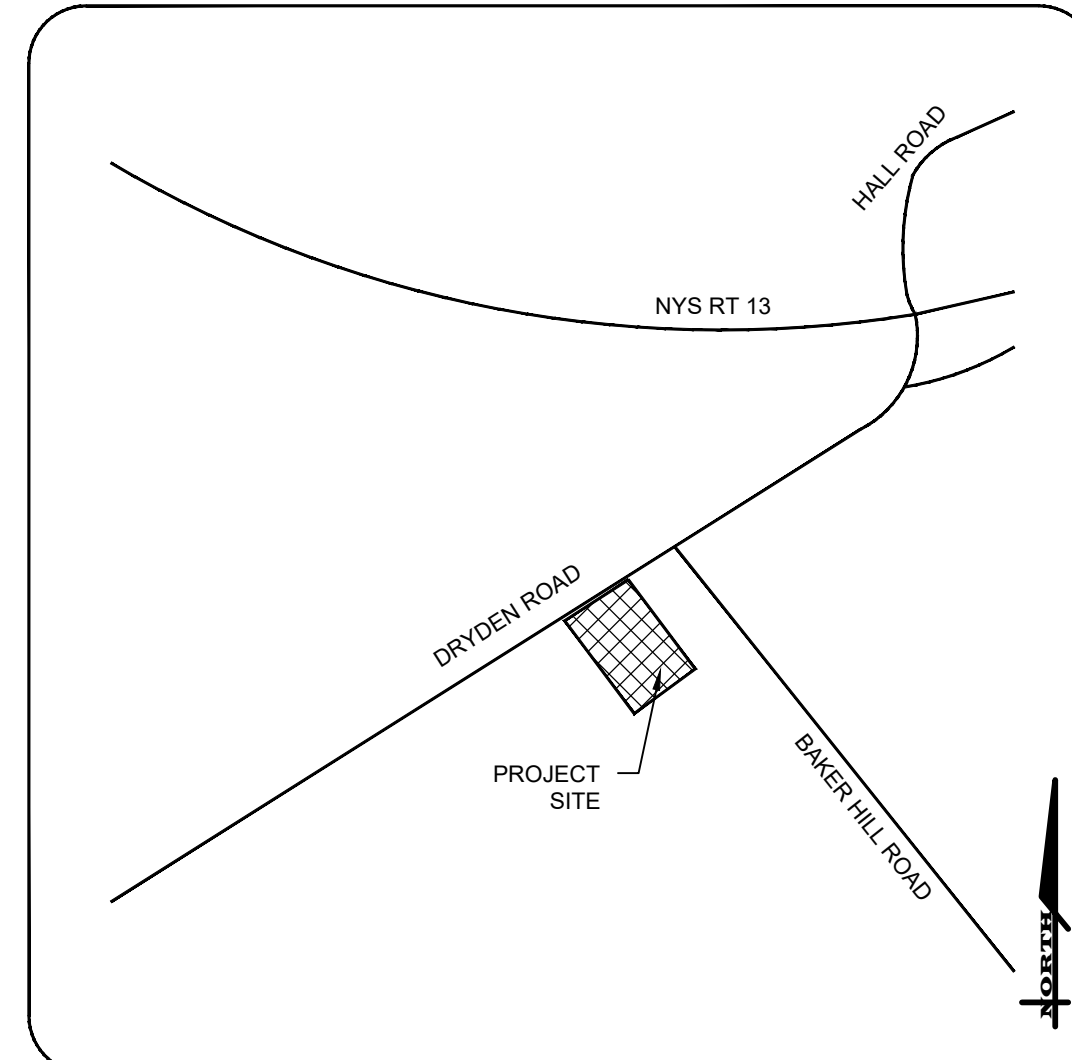
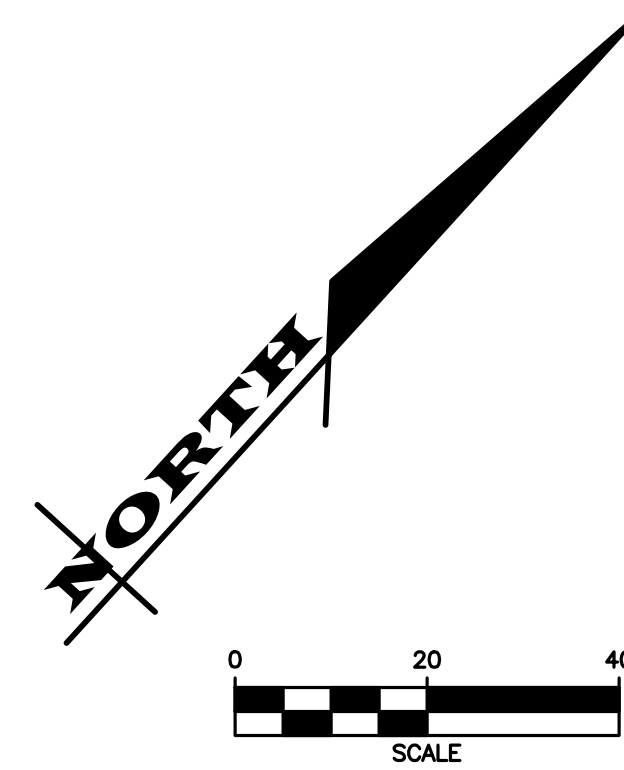
DRAWING TITLE:
 Site Plan

2 of 9
 SHEET No: C-2.0

1453-22
 JOB No: DRAWING No:

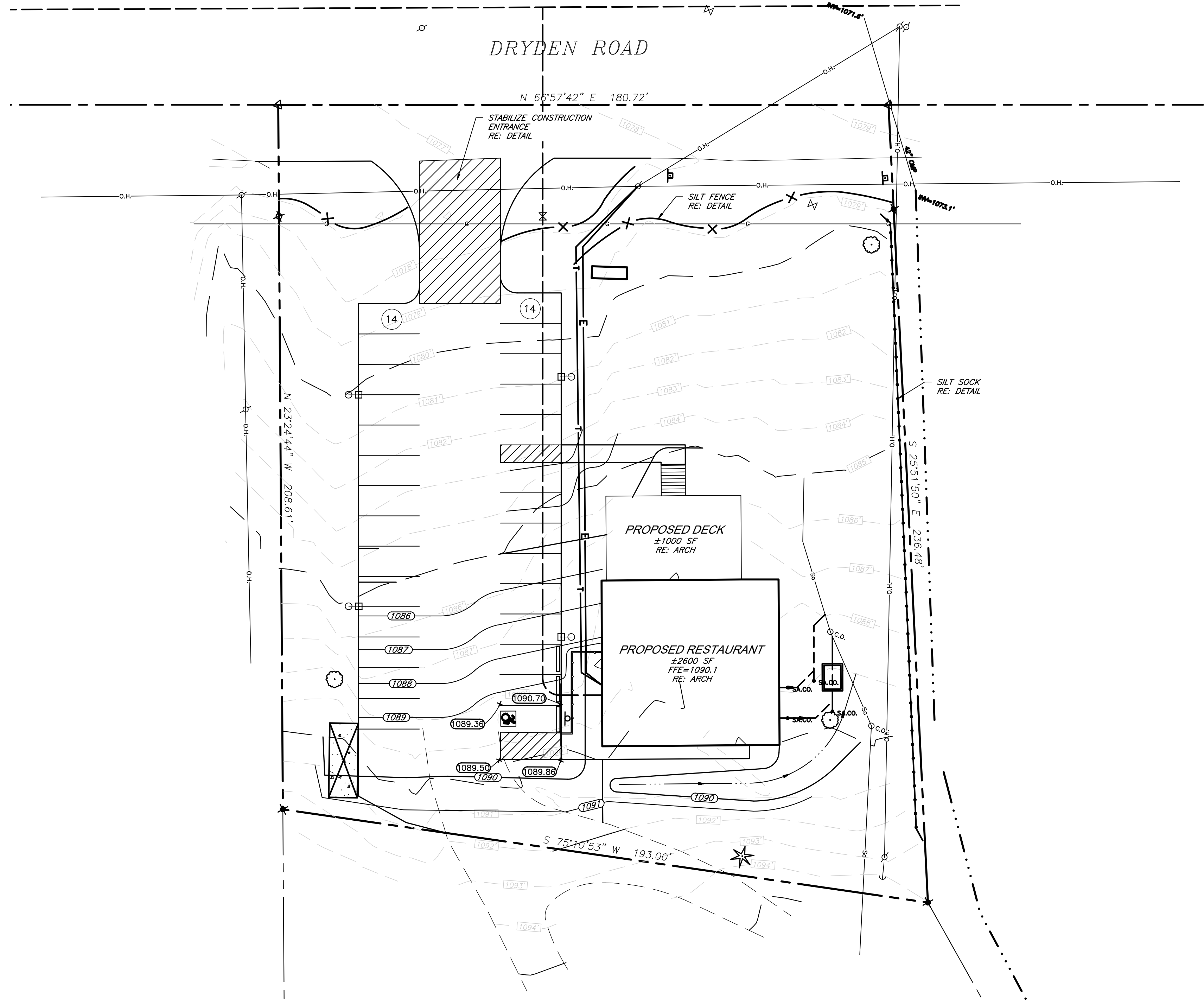
EARTHWORK

- 1. PREPARATION** - PRIOR TO START OF EARTHWORK OPERATIONS THE CONTRACTOR SHALL COMPLETE THE FOLLOWING APPLICABLE ITEMS AS DEFINED BY CONTRACT DOCUMENTS:
 - **SITE DEMOLITION** - REMOVAL AND DISPOSAL OFF-SITE IN A LEGAL MANNER; STRUCTURES, UTILITIES, PAVEMENTS, ETC.
 - **CLEARING AND GRUBBING** - REMOVAL AND DISPOSAL OFF-SITE IN A LEGAL MANNER; TREES, BRUSH, STUMPS, ETC.
 - **TOPSOIL STRIPPING** - STRIP AND STOCKPILE TOPSOIL FOR REUSE. EXCESS TOPSOIL MAY BE REMOVED FROM SITE WITH APPROVAL BY OWNER AND MUNICIPALITY.
- 2. RESPONSIBILITY** - THE CONTRACTOR IS RESPONSIBLE FOR:
 - **ESTIMATE** - COMPLETION OF A QUANTITY TAKEOFF TO DETERMINE THE VOLUME OF CUT, FILL, AND TOPSOIL. COMPARE AND COORDINATE WITH INFORMATION PROVIDED BY THE DESIGN ENGINEER.
 - **GRADE TOLERANCES** - ESTABLISHING DESIGN SUBGRADE ELEVATIONS TO WITHIN ONE TENTH OF ONE FOOT (0.10') IN PAVEMENT AREAS (INCLUDING WALKS) AND TO WITHIN THIRTY-THREE HUNDREDTHS OF ONE FOOT (0.33') FOR ALL REMAINING AREAS.
 - **COMPACTION** - ACHIEVING THE SPECIFIED MINIMUM COMPACTION VALUES FOR EMBANKMENT/FILL AREAS. THE TERMS "FILL" AND "EMBANKMENT" ARE INTERCHANGEABLE.
 - **CUTS** - ONCE EXCAVATIONS ARE SHAPED TO THE DESIGN GRADES THE AREAS SHALL BE PROTECTED TO ASSURE THAT THE INTEGRITY OF MATERIAL IS NOT COMPROMISED BY CONSTRUCTION VEHICLES AND/OR IMPROPER DRAINAGE. AREAS DETERMINED BY CONTRACTOR TO BE NOT SUITABLE FOR SUBGRADE PLACEMENT SHALL BE IMMEDIATELY REPORTED WHEN THE SUBGRADE IS ESTABLISHED TO OWNER'S REPRESENTATIVE. STABILIZATION MEASURES FOR CUT AREAS MAY BE CONSIDERED BY OWNER'S REPRESENTATIVE AS A CHANGE TO THE BASE CONTRACT.
- 3. TESTING** - THE FOLLOWING MAXIMUM DRY DENSITIES SHALL BE ACHIEVED AS MEASURED BY THE MODIFIED PROCTOR METHOD ASTM D-1557:
 - 95% UNDER PAVEMENTS, WALKS, AND IN STRUCTURAL FILL AREAS
 - 85% IN REMAINING AREAS
 THE AGREEMENT BETWEEN THE OWNER AND CONTRACTOR SHALL DEFINE THE NUMBER OF TESTS AND RESPONSIBILITY. WE RECOMMEND IN EMBANKMENT AREAS ONE PER LIFT AND/OR ONE PER 1,000 CUBIC YARDS.
- 4. LIFT THICKNESS** - UNLESS OTHERWISE RECOMMENDED IN THE AFOREMENTIONED GEOTECHNICAL INVESTIGATION, THE MAXIMUM LIFT THICKNESS UNDER PAVEMENTS, WALKS, AND STRUCTURAL FILLS SHALL BE 12 INCHES, HAND OPERATED COMPACTION FILLS SHALL NOT EXCEED 6 INCHES.
- 5. PROOF ROLLING** - THE OWNER'S REPRESENTATIVE MAY REQUEST A PROOF ROLL (I.E. LOADED TEN WHEELER) OF SUBGRADE AREAS PRIOR TO PLACEMENT OF SUBBASE MATERIALS. AREAS THAT "FAIL" SHALL BE REMOVED AND REPLACED TO ACHIEVE A PASSING SUBGRADE. PROOF ROLLING AND OVER-EXCAVATION OF UNSUITABLE MATERIAL SHALL BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS OUTLINED IN THE GEOTECHNICAL EVALUATION.



LOCATION MAP
N.T.S.

AREA OF DISTURBANCE LEGEND:
 AREA OF DISTURBANCE, ±0.63 ACRES



EROSION CONTROL

- 1. CERTIFICATION** - THE "GRADING, DRAINAGE & EROSION CONTROL PLAN" AND THE "EROSION CONTROL NOTES", DEFINES AND MEETS THE REQUIREMENTS OF THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYSDEC) LATEST STORM WATER REGULATIONS.
- 2. CONTRACTOR RESPONSIBILITY** - ALL CONTRACTORS AND SUB-CONTRACTORS SHALL CERTIFY WITHIN THE SWPPP THAT THEY WILL IMPLEMENT AND MAINTAIN STORM WATER MANAGEMENT PRACTICES.
- 3. INSPECTION** - EROSION CONTROL (EC) MEASURES INSTALLED AND MAINTAINED BY THE SITE WORK CONTRACTOR ARE SUBJECT TO THE REVIEW AND APPROVAL OF THE MUNICIPALITY, DESIGN ENGINEER, NYSDEC, AND OWNER'S REPRESENTATIVE. IMMEDIATE ACTION BY THE CONTRACTOR SHALL BE TAKEN IF ADDITIONAL OR CORRECTIVE MEASURES ARE REQUIRED BY ANY ONE OF THESE CITED REVIEWERS. EROSION CONTROL MEASURES NOT SPECIFICALLY SHOWN ON CONTRACT DRAWINGS (I.E., ADDITIONAL SILT FENCE, COLLARS, FABRICS, ETC.) SHALL BE INSTALLED AS WARRANTED BY FIELD CONDITIONS, AND AS DIRECTED BY THE AFOREMENTIONED REVIEWERS.
- 4. PRE-CONSTRUCTION** - THE APPROPRIATE EROSION CONTROL MEASURES AS DEFINED BY THE CONSTRUCTION DOCUMENTS SHALL BE INSTALLED PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES. A PRE-CONSTRUCTION MEETING WITH THE TOWN OF DRYDEN SHALL OCCUR PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
- 5. TOPSOIL** - UPON COMPLETION OF THE STOCKPILE STRIPPING OPERATION, STOCKPILES SHALL BE STABILIZED IN ACCORDANCE TO NYSDEC REGULATIONS.
- 6. SLOPES** - UPON COMPLETION OF GRADING, SLOPES WITH A GRADIENT OF ONE FOOT VERTICAL TO THREE FEET HORIZONTAL (1 ON 3) OR GREATER SHALL BE: TOPSOILED, SEEDED, FERTILIZED AND STABILIZED WITH A ROLLED EROSION CONTROL BLANKET (ECB). ECB SHALL BE NORTH AMERICAN GREEN - BIONET PRODUCT #S1508N OR APPROVED EQUAL.
- 7. DUST** - THE CONTRACTOR SHALL APPLY WATER AND/OR CALCIUM CHLORIDE, AS CONDITIONS WARRANT, TO CONTROL WIND BORN EROSION. THIS MEASURE APPLIES TO: HAUL ROADS, CUT AND FILL OPERATIONS, SUB-BASE AND ANY OTHER EXPOSED SURFACES.
- 8. OPERATION & MAINTENANCE** - THROUGHOUT THE PERIOD OF CONSTRUCTION AND PRIOR TO ESTABLISHING FINAL GROUND COVER THE SITE CONTRACTOR IS RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE TEMPORARY EROSION CONTROL MEASURES. FOR EXAMPLE, THE SILTATION FACILITIES SHALL BE RE-EXCAVATED WHEN THE VOLUME (3600 CUBIC FEET/DISTURBED ACRE) IS REDUCED BY ONE-HALF OR MORE OF ITS SPECIFIED CAPACITY AND/OR THE MATERIAL IS WITHIN ONE FOOT OF THE DISCHARGE POINT.
- 9. WORK STOPPAGE** - ALL DISTURBED AREAS NOT TO BE WORKED WITHIN 21 DAYS MUST BE SEEDED WITHIN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY IN THAT AREA.
- 10. SEQUENCE** - THE CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES IN THE FOLLOWING SEQUENCE UNLESS AUTHORIZED OTHERWISE AT PRE-CONSTRUCTION MEETING:
 - CONTRACTOR SHALL DENOTE THE LOCATION OF EQUIPMENT STORAGE/LAYDOWN, JOB TRAILERS, PORTA-POTTY, WASTE RECEPTACLES, ETC. ON THE CONSTRUCTION DRAWINGS PRIOR TO THE START OF WORK.
 - PROTECT EXISTING VEGETATION AND ENVIRONMENTAL FEATURES TO REMAIN.
 - INSTALL PERIMETER SEDIMENT CONTROLS.
 - INSTALL STABILIZED CONSTRUCTION ENTRANCE.
 - PROTECT VEGETATION TO REMAIN.
 - COMPLETE CLEARING AND GRUBBING.
 - STRIP TOPSOIL AND PLACE EROSION CONTROL MEASURES AROUND ALL TOPSOIL STOCKPILES. CONTRACTOR TO DENOTE LOCATION OF STOCKPILE(S) ON THE CONSTRUCTION DRAWINGS.
 - COMPLETE DEMOLITION ACTIVITIES.
 - INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROLS ACCORDING TO PLAN.
 - GRADE SITE.
 - STABILIZE DENUDED AREAS AND STOCKPILES WITHIN 14 DAYS OF LAST CONSTRUCTION ACTIVITY IN EACH AREA.
 - INSTALL/PLACE CONCRETE WASHOUT AREA(S). CONTRACTOR TO DENOTE LOCATION OF CONCRETE WASHOUT AREA(S) ON THE CONSTRUCTION DRAWINGS.
 - INSTALL UTILITIES.
 - APPLY STONE TO ROADS AND PARKING AREAS.
 - COMPLETE GRADING, REAPPLY TOPSOIL, AND PERFORM SOIL RESTORATION.
 - INSTALL PERMANENT SEEDING, FERTILIZER AND MULCH.
 - COMPLETE FINAL PAVING.
 - REMOVE ACCUMULATED SEDIMENT FROM ONSITE STORM SEWERS, STORM STRUCTURES, ETC.
 - REMOVE ALL TEMPORARY SEDIMENT CONTROL PRODUCTS AFTER SOILS ARE STABILIZED.

MARATHON ENGINEERING
 ROCHESTER LOCATION
 39 CASCADE DRIVE
 ROCHESTER, NY 14614
 585-458-7770
 ITHACA LOCATION
 840 HANSHAW RD, STE 6
 ITHACA, NY 14850
 607-241-2917
 www.marathoneng.com

STATE OF NEW YORK
 TOWN OF DRYDEN
 1285 DRYDEN ROAD
 TOMPKINS COUNTY
SITE DEVELOPMENT PLANS
 for
PLANTATIONS COMMERCIAL

JOB NO: 1453-22
 SCALE: 1"=20'
 DRAWN: REA
 DESIGNED: AMF
 DATE: 9/9/2022

REVISIONS

DATE	BY	REVISION

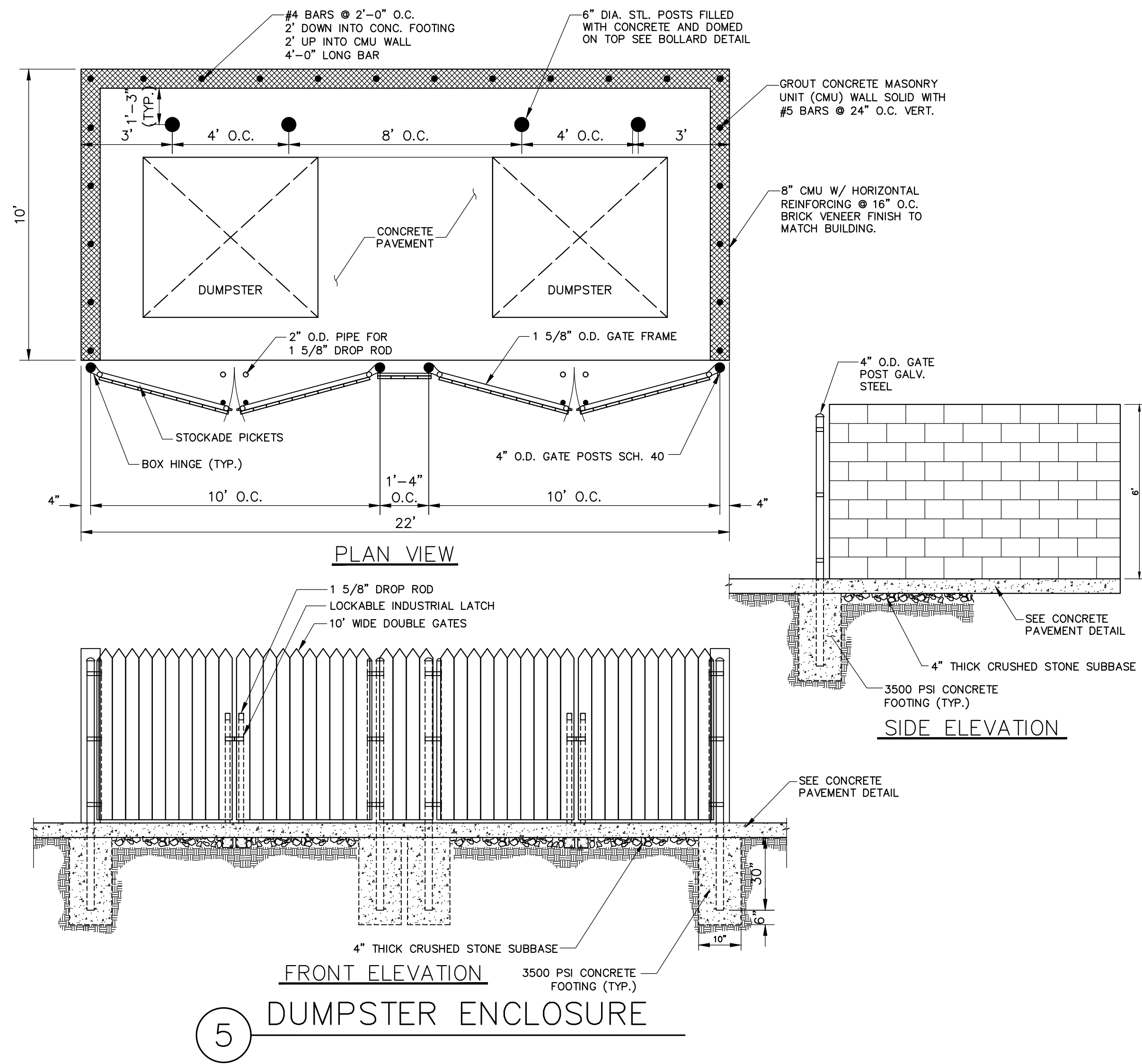
IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW, ARTICLE 141, SECTION 120(2) FOR AN ARCHITECT OR ENGINEER TO SEAL OR SIGN ANY DRAWING OR SPECIFICATION FOR THE DESIGN OR CONSTRUCTION OF A PROJECT UNLESS HE OR SHE IS A LICENSED PROFESSIONAL ARCHITECT OR ENGINEER IN THE STATE OF NEW YORK. THE SEAL OF A PROFESSIONAL ARCHITECT OR ENGINEER IS VALID ONLY IF THE ARCHITECT OR ENGINEER HAS BEEN LICENSED BY THE STATE OF NEW YORK. THE SEAL OF A PROFESSIONAL ARCHITECT OR ENGINEER IS VALID ONLY IF THE ARCHITECT OR ENGINEER HAS BEEN LICENSED BY THE STATE OF NEW YORK. THE SEAL OF A PROFESSIONAL ARCHITECT OR ENGINEER IS VALID ONLY IF THE ARCHITECT OR ENGINEER HAS BEEN LICENSED BY THE STATE OF NEW YORK.

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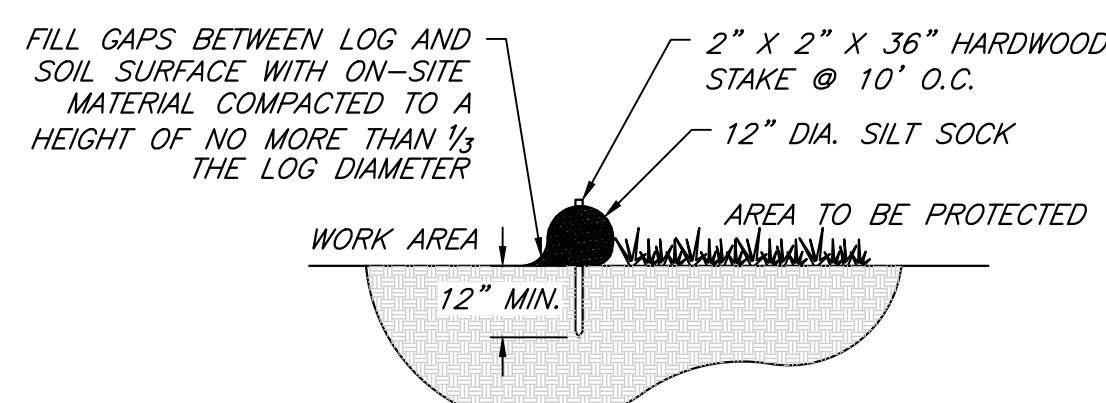
ADAM M. FISHEL

DRAWING TITLE:
Grading, Drainage & Erosion Control Plan

3 of 9
 SHEET No: **C-3.0**
 JOB No: 1453-22
 DRAWING No:

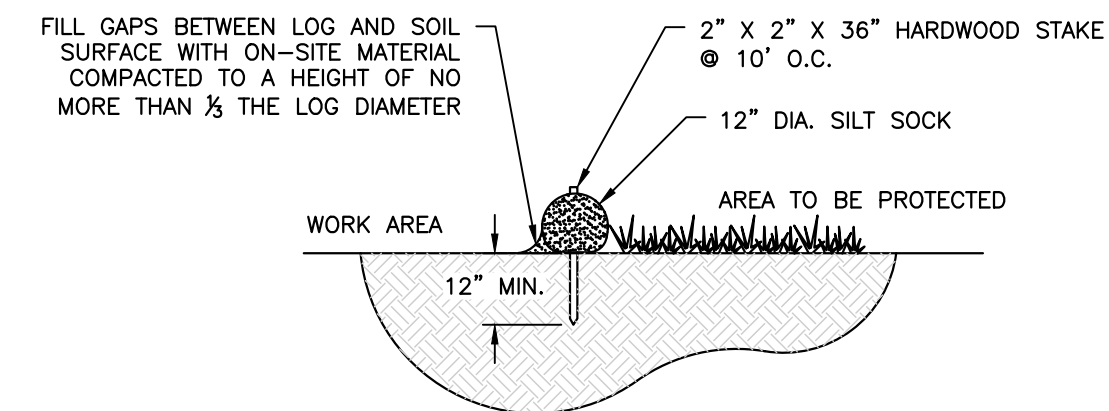


5 DUMPSTER ENCLOSURE



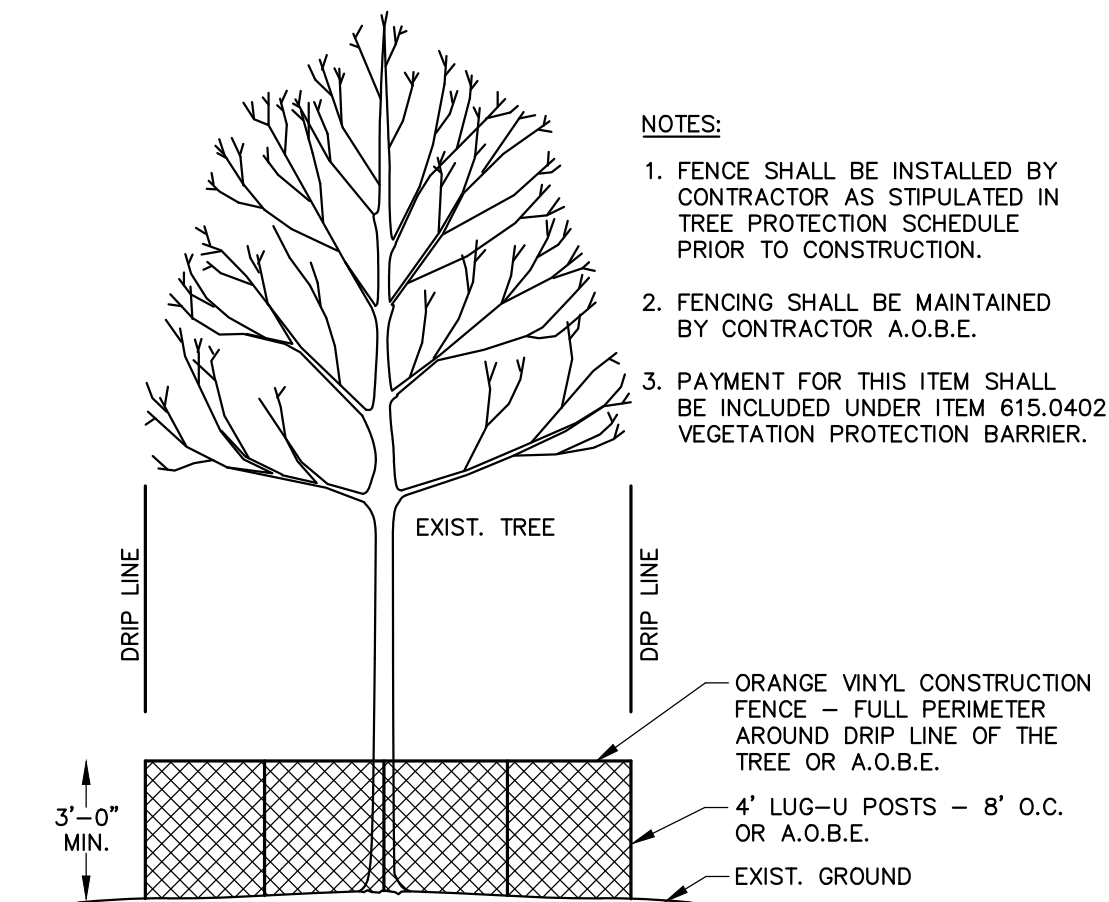
- NOTES:**
1. EXCAVATE A SHALLOW TRENCH AT THE TOE OF SLOPE SLIGHTLY BELOW BASEFLOW.
 2. PLACE THE ROLLE IN THE TRENCH AND ANCHOR WITH 2\"/>

7 EROSION CONTROL SILT SOCK
SCALE: N.T.S.

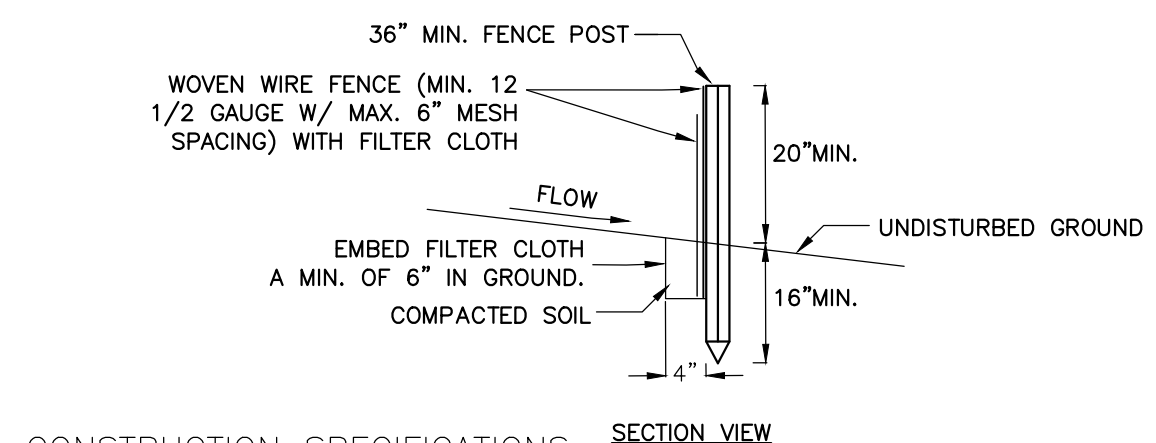
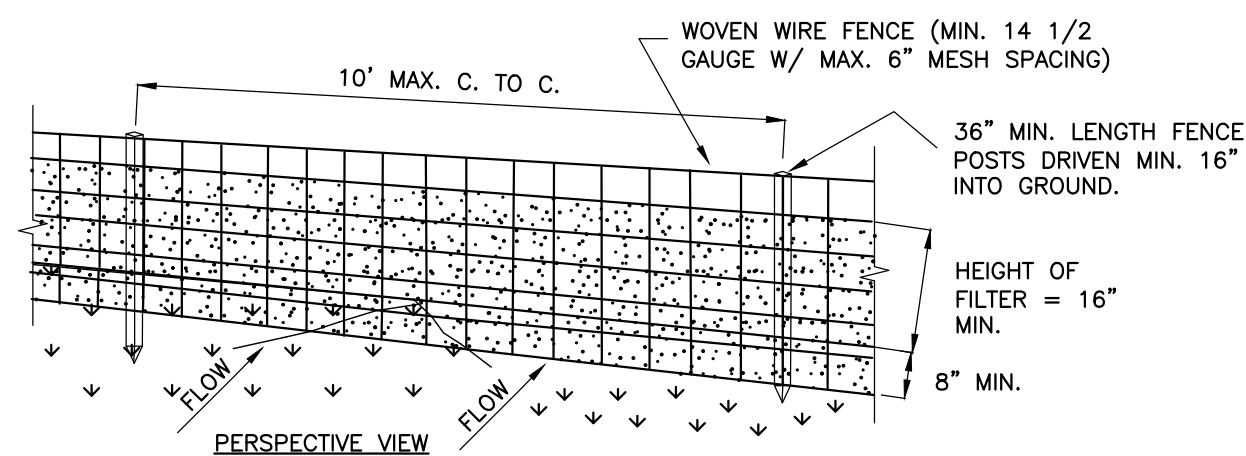


- NOTES:**
1. EXCAVATE A SHALLOW TRENCH AT THE TOE OF SLOPE SLIGHTLY BELOW BASEFLOW.
 2. PLACE THE ROLLE IN THE TRENCH AND ANCHOR WITH 2\"/>

3 EROSION CONTROL SILT SOCK
SCALE: N.T.S.



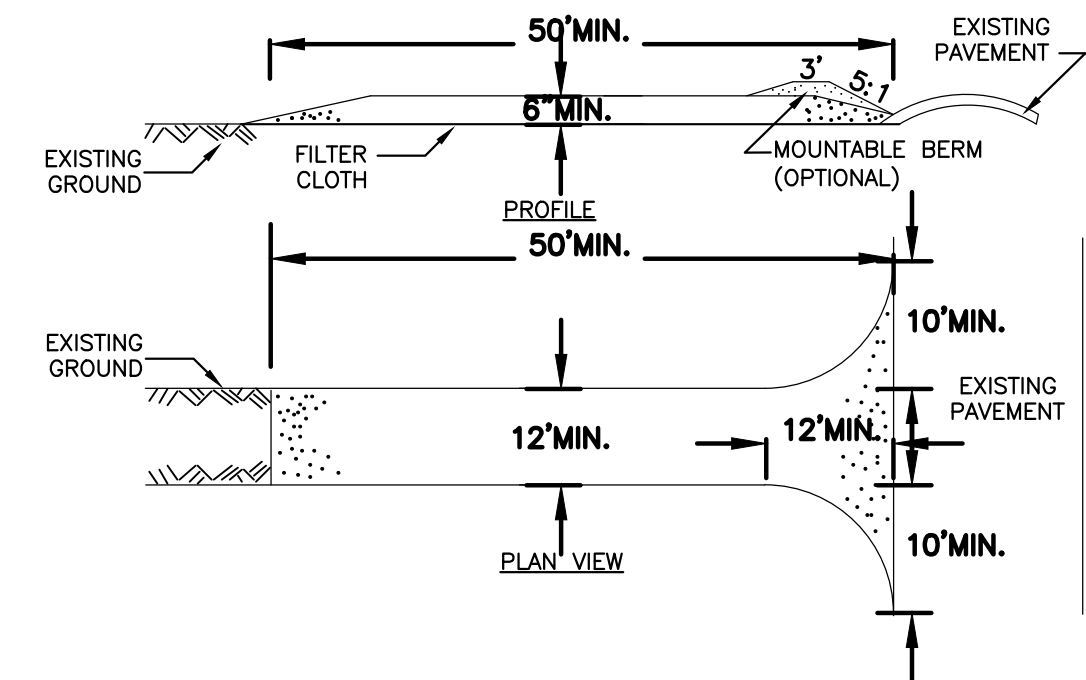
4 TREE PROTECTION



CONSTRUCTION SPECIFICATIONS

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES, POSTS SHALL BE STEEL \"T\" OR \"U\" TYPE OF HARDWOOD.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24\"/>

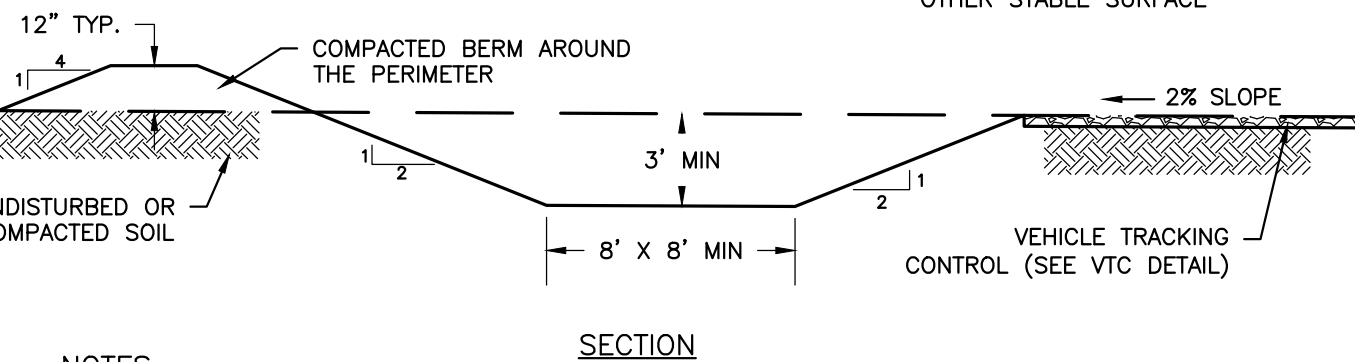
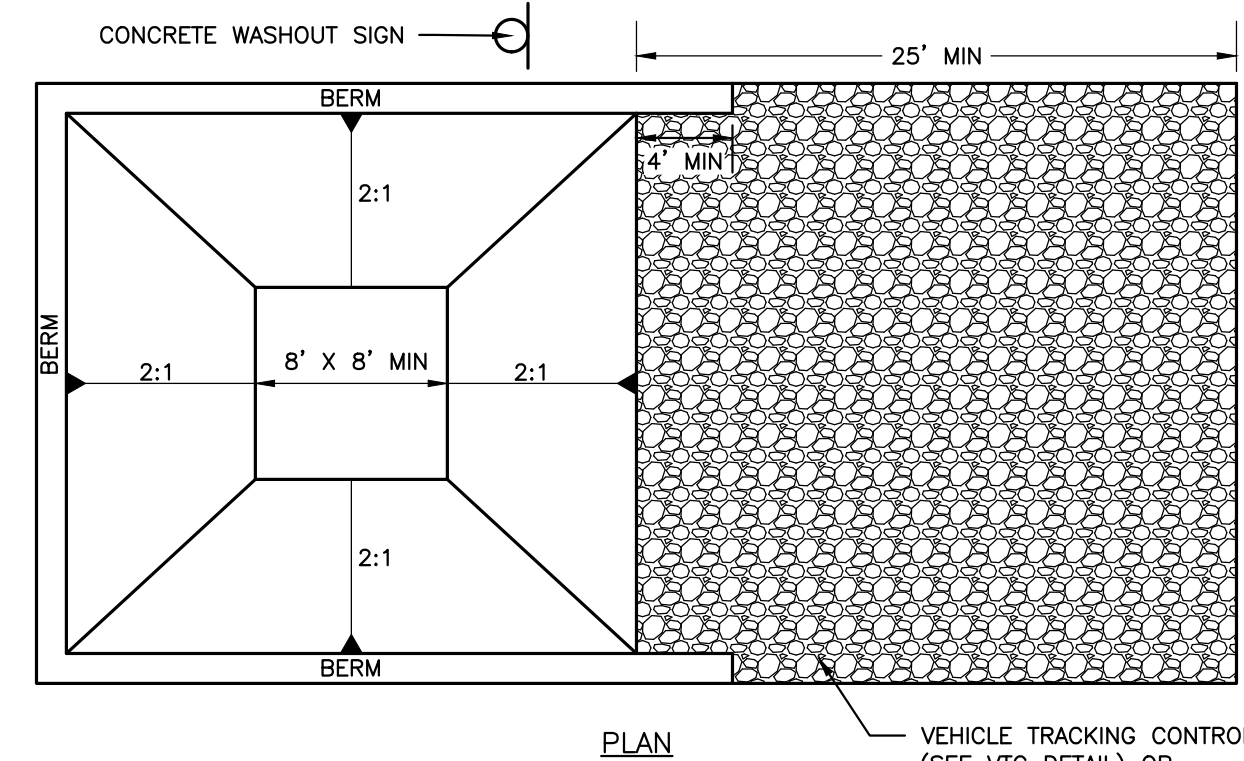
6 SILT FENCE
SCALE: N.T.S.



CONSTRUCTION SPECIFICATIONS

1. STONE SIZE - USE 2\"/>

1 STABILIZED CONSTRUCTION ENTRANCE
SCALE: N.T.S.



NOTES:

1. CONTRACTOR TO VERIFY SIZE REQUIREMENTS BASED ON ANTICIPATED VOLUMES OF CONCRETE WASHOUT.
2. CONCRETE WASHOUT SHOULD BE PLACED TO NOT ACCEPT SURFACE RUNOFF EXCEPT THE AREA WHERE TRUCKS SIT FOR WASHOUT.

2 CONCRETE WASHOUT AREA

SITE DEVELOPMENT PLANS for PLANTATIONS COMMERCIAL

STATE OF NEW YORK
TOWN OF DRYDEN
1285 DRYDEN ROAD
TOMPKINS COUNTY

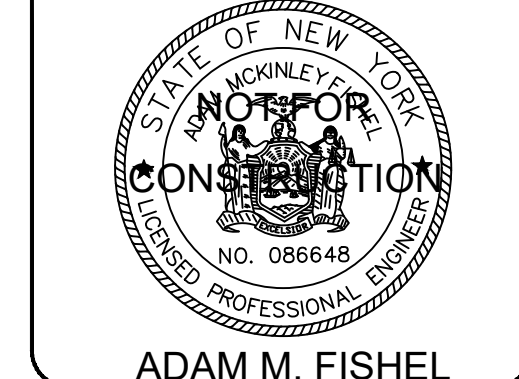
JOB NO: 1453-22
SCALE: N.T.S.
DRAWN: REA
DESIGNED: AMF
DATE: 9/9/2022

REVISIONS

DATE	BY	REVISION

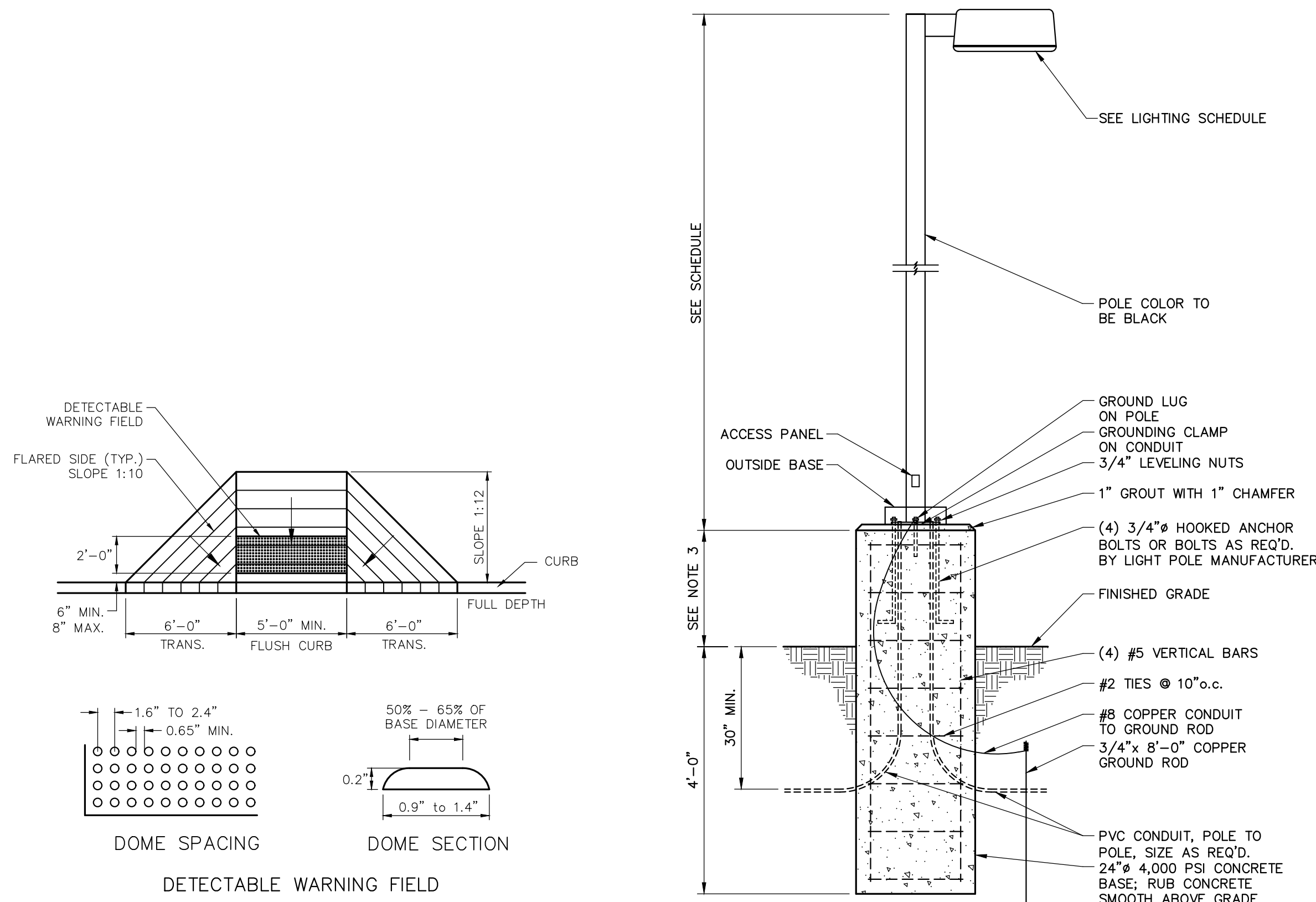
IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW, ARTICLE 141, SECTION 120(1) AND ARTICLE 141(1) OF THE EDUCATION LAW TO REPRODUCE OR TRANSMIT IN ANY MANNER OR BY ANY MEANS, IN ANY FORM OR BY ANY MEANS, THE SEAL OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR, IF AN INDIVIDUAL BEARING THE SEAL OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR HAS ALTERED, THE SEAL, IN ANY MANNER OR BY ANY MEANS, TO BE USED FOR ANY OTHER PURPOSE OR TO BE USED FOR ANY OTHER PURPOSE THAN THAT FOR WHICH IT WAS ISSUED AND TO BE USED FOR ANY OTHER PURPOSE THAN THAT FOR WHICH IT WAS ISSUED.

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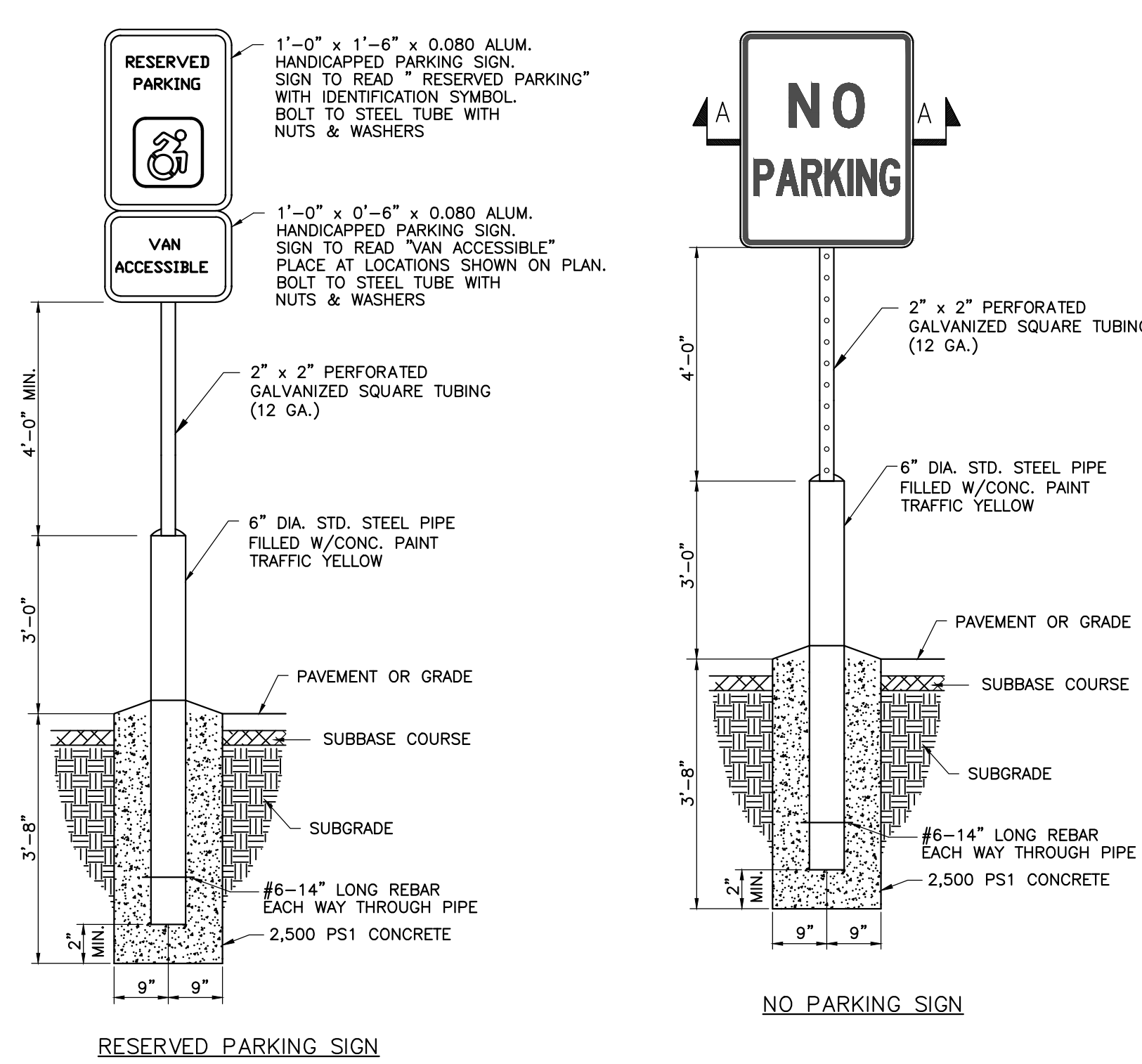


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Detail Sheet (1 of 3)

6 of 9
SHEET No: C-6.0
1453-22
JOB No: DRAWING No:

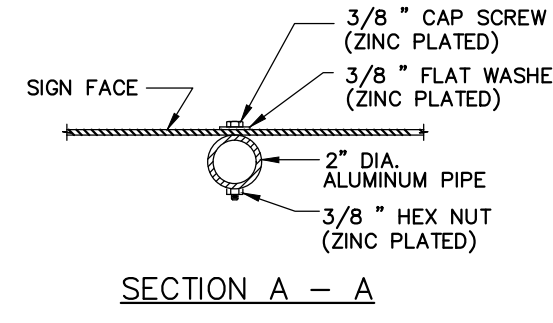


- NOTES:**
- POLE BASE MAY BE PRECAST BY LAKELANDS (LB24D)
 - LIGHT POLE MANUFACTURER TO SUPPLY ANCHOR BOLTS, OUTSIDE BASE, AND BOLT PATTERN TEMPLATES.
 - IN PAVEMENT AREAS CONCRETE BASE SHALL EXTEND 24" MINIMUM ABOVE ASPHALT, IN PROTECTED LANDSCAPE AREAS (BEHIND CURB) BASES SHALL HAVE A MINIMUM OF 6" REVEAL ABOVE FINISHED GRADE.
 - BASES SHALL HAVE 2" MIN. HORIZONTAL SEPARATION FROM BACK OF CURB OR SIDEWALK UNLESS SPECIFICALLY CALLED OUT OTHERWISE ON THE PLANS.

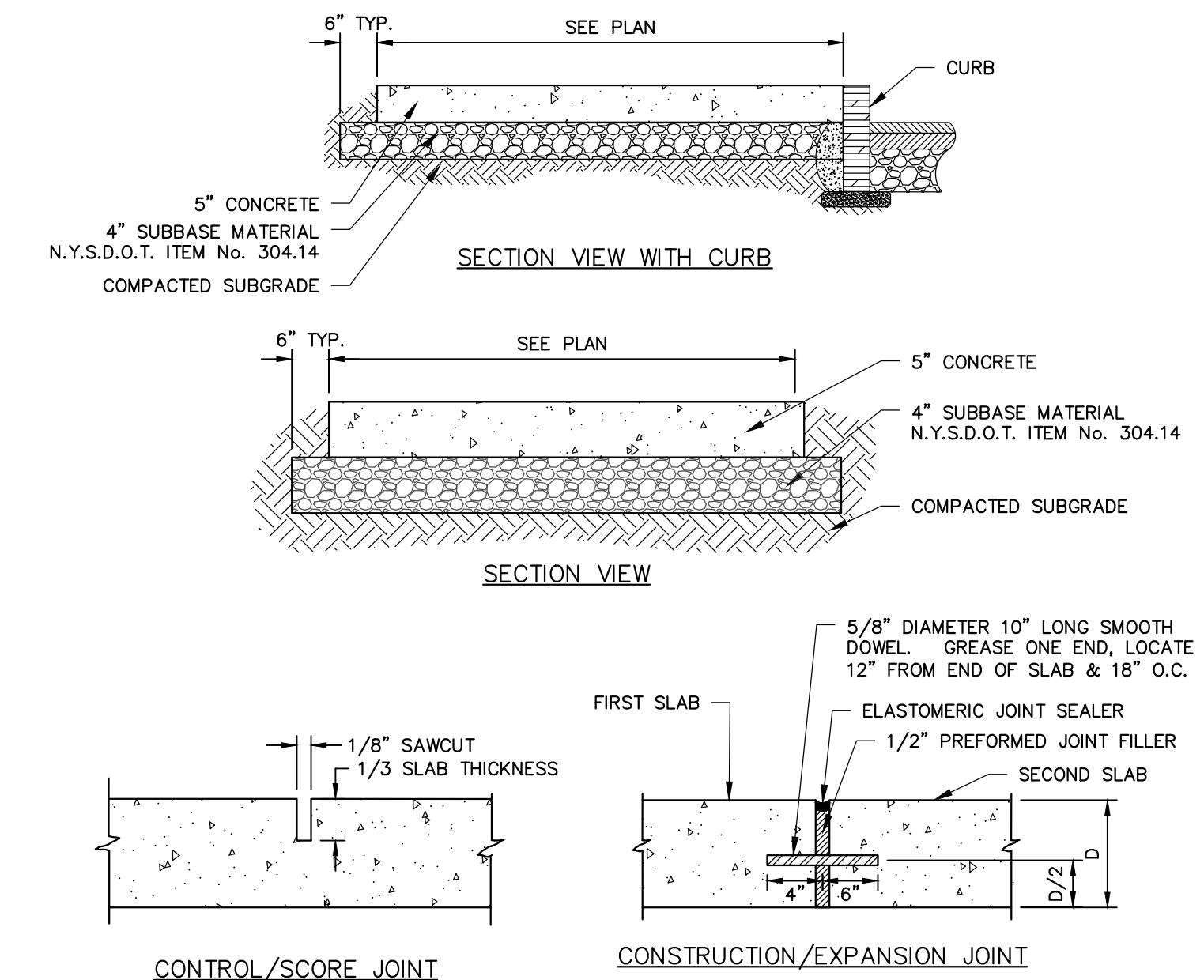


RESERVED PARKING SIGN

NO PARKING SIGN



SECTION A - A



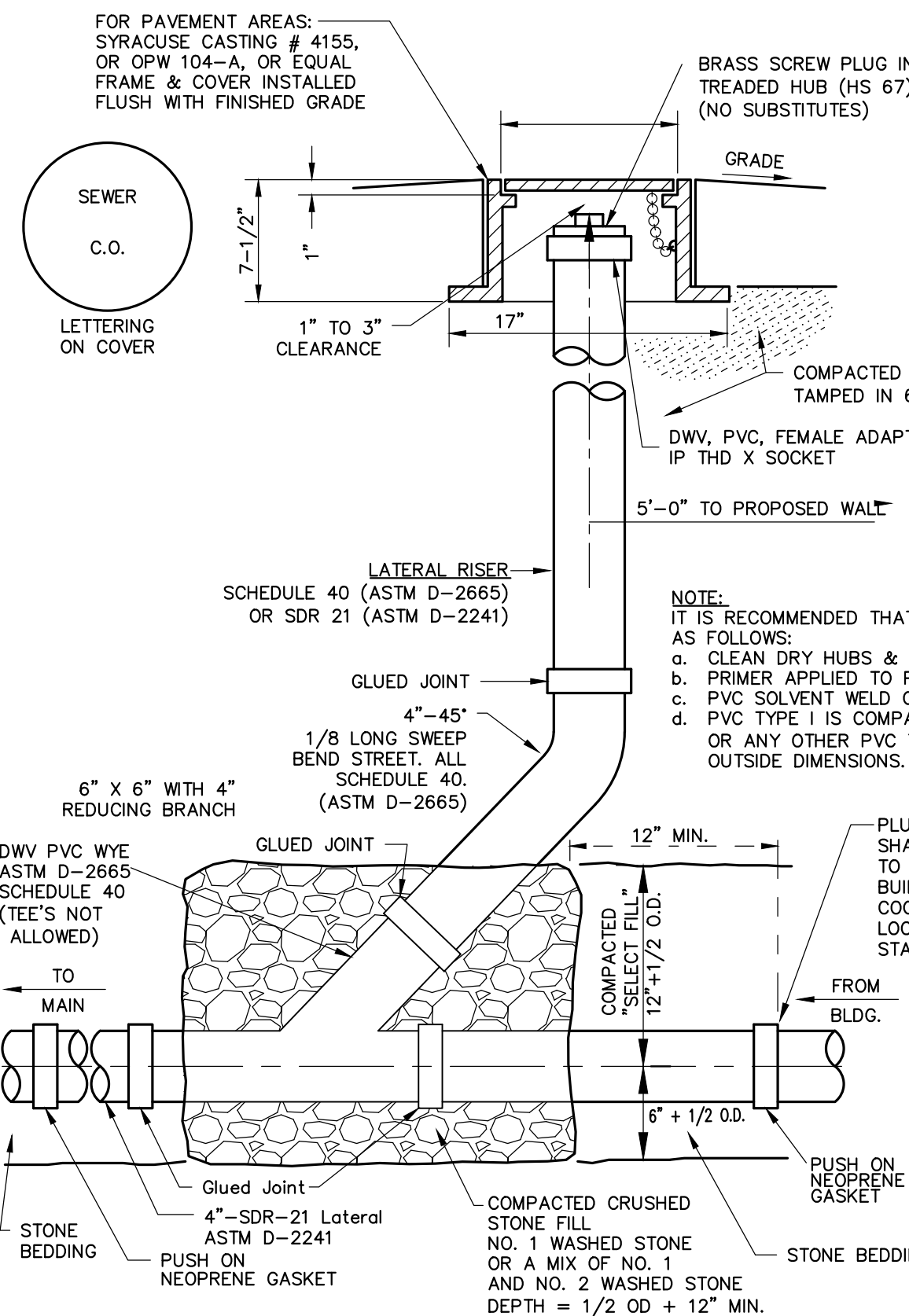
CONTROL/SCORE JOINT

CONSTRUCTION/EXPANSION JOINT

- NOTES:**
- CONCRETE SHALL BE 4000 PSI AIR-ENTRAINED MIX.
 - CONCRETE SURFACE SHALL RECEIVE A BROOM FINISH (IF NOT SPECIFIED AS EXPOSED AGGREGATE CONCRETE) AND TWO COATS OF A MEMBRANE FORMING SEALER AT RATES SPECIFIED BY PRODUCT MANUFACTURER.
 - EXPANSION JOINTS SHALL BE PROVIDED AT FIXED STRUCTURES AND AT LEAST EVERY 30' ALONG THE SIDEWALK.
 - CONSTRUCTION JOINTS WITH DOWELS SHALL BE PROVIDED AT SUBSEQUENT POURS.
 - CONTROL JOINTS SHALL BE LOCATED AS SHOWN ON PLAN AND IN ACCORDANCE WITH ACI 330-R92. THESE JOINTS SHALL BE COMPLETED WITHIN 24 HOURS OF CONCRETE PLACEMENT.
 - SCORE PATTERN - SCORING PATTERN SHALL BE 5" X 5" SQUARE, MAY VARY IN CERTAIN AREAS-COORDINATE WITH OWNERS' ON-SITE REP PRIOR TO SCORING SIDEWALKS.
 - SIDEWALKS SHALL HAVE A MINIMUM 0.5% AND MAXIMUM 2.0% CROSS SLOPE TO PROVIDE POSITIVE DRAINAGE. CROSS SLOPE SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND ENTRANCES.
 - "SNAP-CAP" OR EQUAL SHALL BE USED FOR PROTECTING TOP EDGE OF EXPANSION JOINTS.
 - SEE CURBING DETAIL FOR DOWELING WHEN ADJACENT TO CONCRETE CURBING.

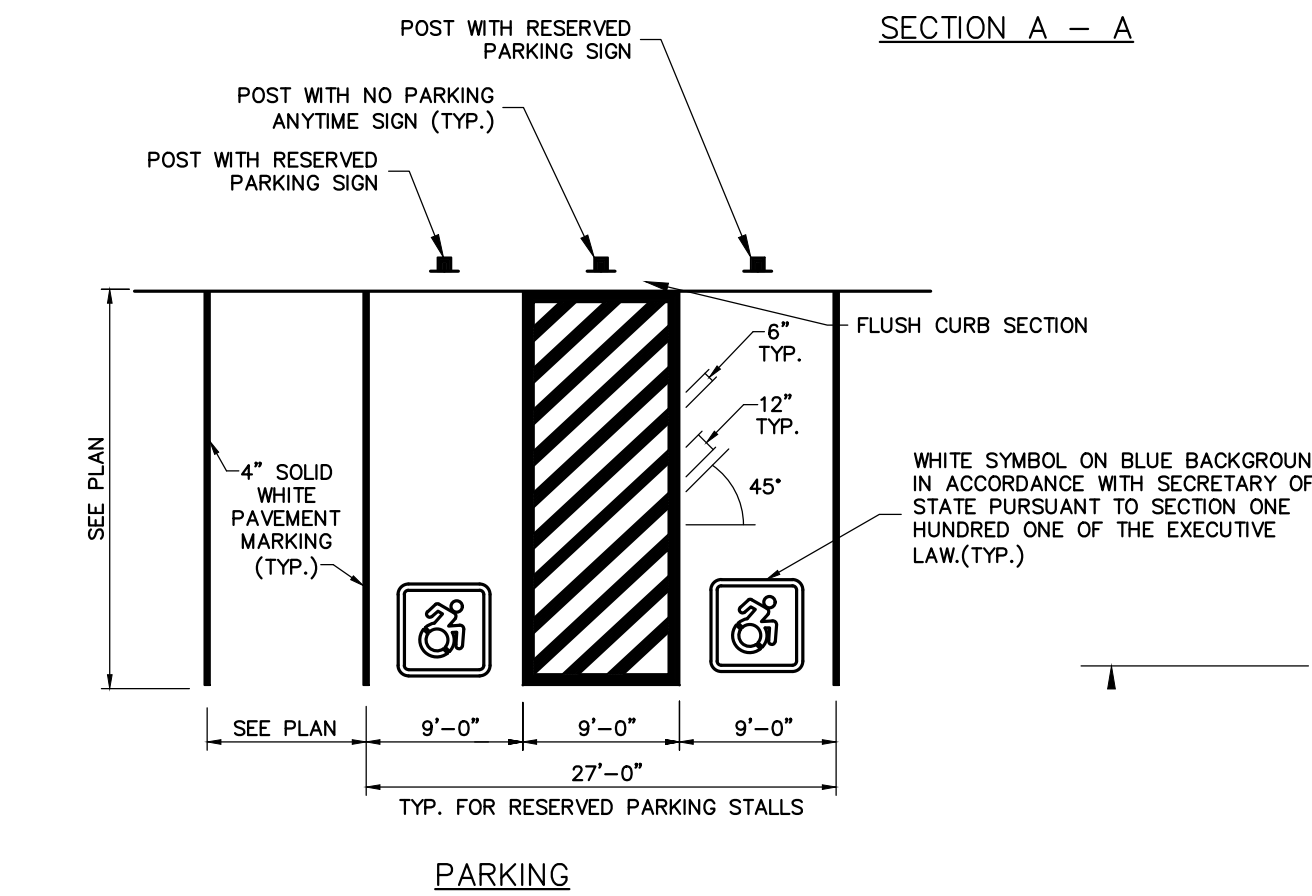
- NOTES:**
- SURFACE TEXTURE OF RAMP SHALL BE COARSE BROOM FINISHED TRANSVERSE TO RAMP.
 - REFER TO TYPICAL SIDEWALK DETAIL FOR MATERIAL SPECIFICATIONS.
 - DETECTABLE WARNING FIELD SHALL EXTEND THE FULL WIDTH OF CURB RAMP OR FLUSH SURFACE.
 - DETECTABLE WARNING FIELD SHALL BE "CHARCOAL" IN COLOR, UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS, OR AOBIE.

4 ACCESS RAMP



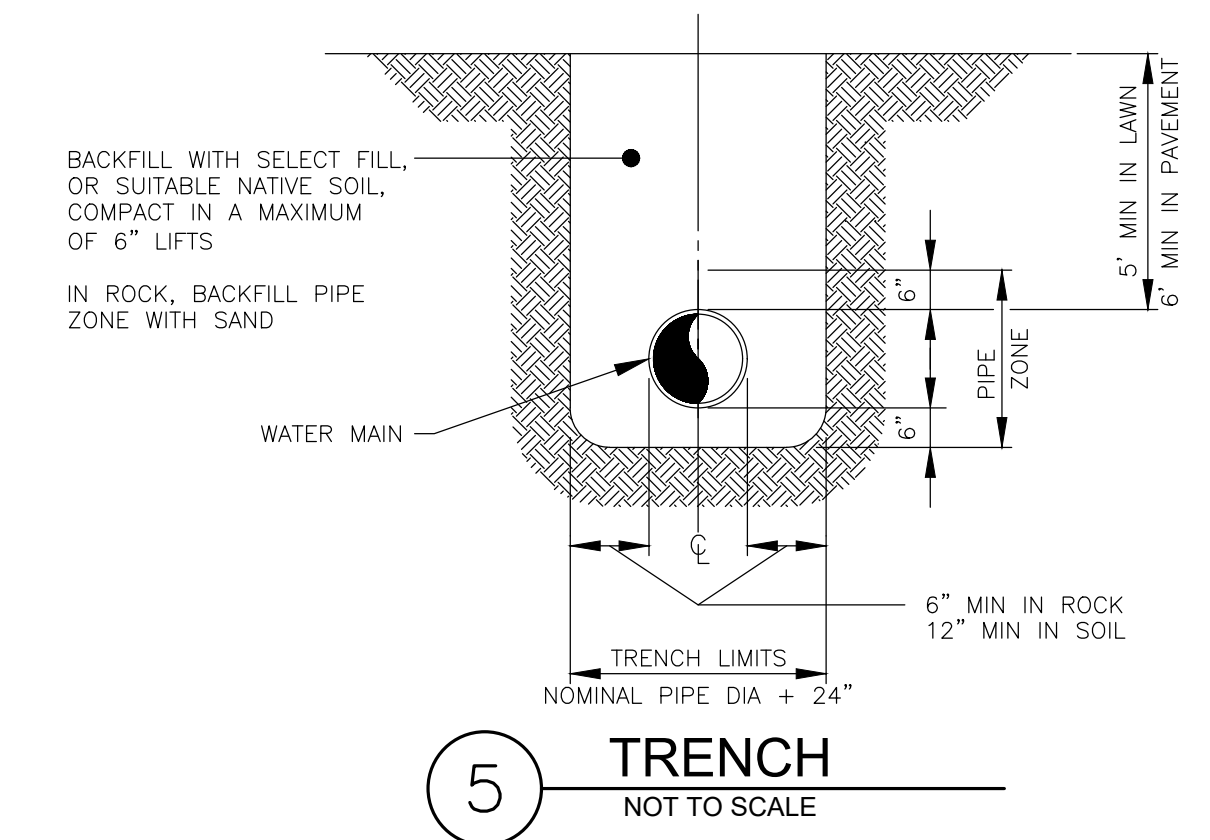
7 PVC SANITARY CLEANOUT DETAIL
SCALE: N.T.S.

3 LIGHT BASE

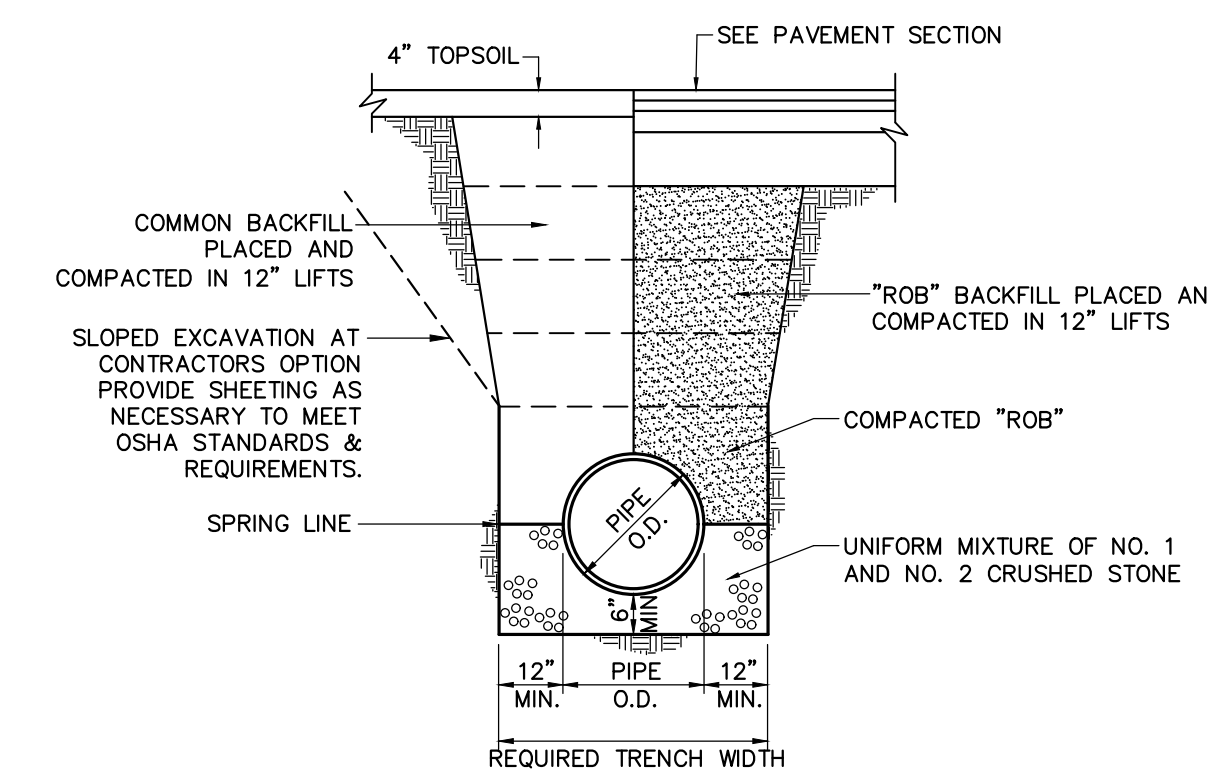


2 RESERVED PARKING AND SIGNAGE

1 CONCRETE SIDEWALK



5 TRENCH
NOT TO SCALE



6 SANITARY TRENCH
REQUIRED WHERE SECTIONS ARE 4' BELOW GRADE

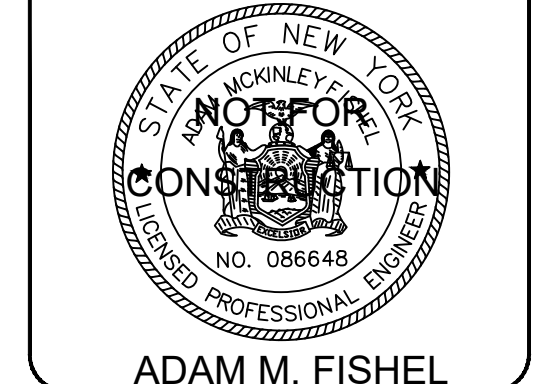
JOB NO: 1453-22
 SCALE: N.T.S.
 DRAWN: REA
 DESIGNED: AMF
 DATE: 9/9/2022

REVISIONS

DATE	BY	REVISION

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW ARTICLE 142 SECTION 100 FOR ANY PERSON UNLESS SOLELY UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR TO ALTER IN ANY WAY AN INSTRUMENT THE SEAL OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR IF AN INSTRUMENT THE SEAL OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR IS EITHER THE ALTERNATE ENGINEER OR LAND SURVEYOR SHALL APPEAR TO THE FILE THEREON AND THE REVISION NUMBER OF FOLLOWING BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

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DRAWING TITLE:
 Detail Sheet (2 of 3)

7 of 9
 SHEET No: C-6.1
 1453-22
 JOB No: DRAWING No:

SITE DEVELOPMENT PLANS
 for
PLANTATIONS COMMERCIAL

1285 DRYDEN ROAD
 TOMPKINS COUNTY
 STATE OF NEW YORK
 TOWN OF DRYDEN

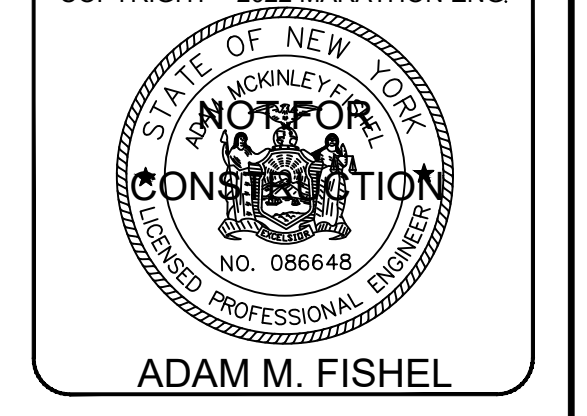
JOB NO: 1453-22
 SCALE: N.T.S.
 DRAWN: REA
 DESIGNED: AMF
 DATE: 9/9/2022

REVISIONS

DATE	BY	REVISION

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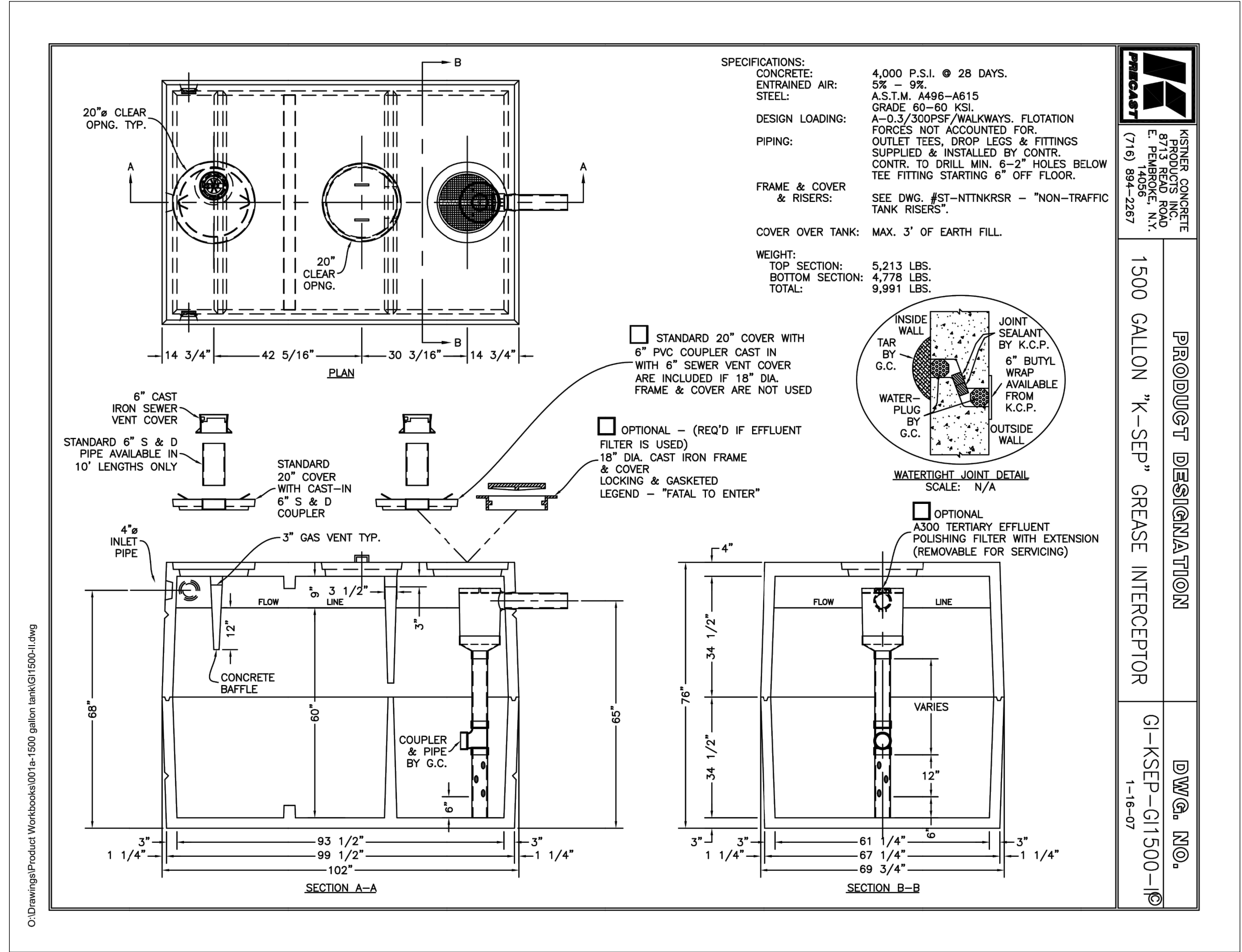
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DRAWING TITLE:
 Detail Sheet (3 of 3)

8 of 9
 SHEET No: C-6.2
 1453-22
 JOB No: DRAWING No:

PRO-DUCT DESIGNATION
 1500 GALLON "K-SEP" GREASE INTERCEPTOR
DWG. NO.
 GI-KSEP-G1500-10
 1-16-07

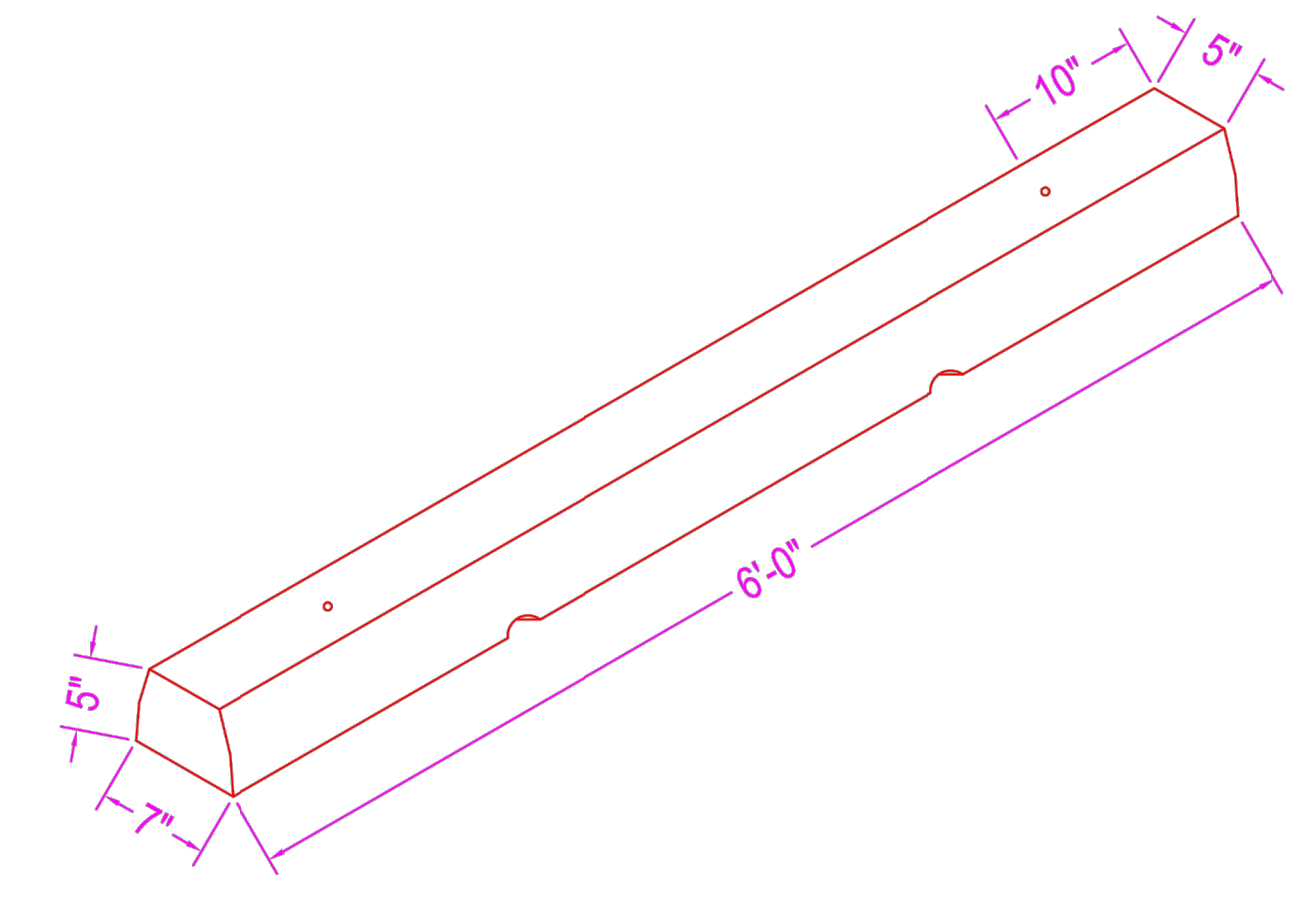


1 GREASE INTERCEPTOR

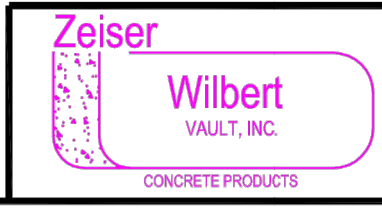
BUMPER BLOCKS

NOTES:
 CONCRETE: 5000 psi @ 28 days
 REF: 2 - #4 rebar in horizontal dir.
 PINS: optional #4 rebar 16" long

WEIGHT: 170 lbs.



2 BUMPER BLOCK



750 Howard Street Elmira, NY 14904
 Fax: (607) 737-0291
 Phone: (607) 733-0568
 1-800-472-4335

Title: Bumper Blocks
 Scale: Not To Scale

Drawn By: JPS
 Drawing No.: 1071
 Date: 6-24-00

NOTES:
 1. THE GREASE TRAP DETAILS PROVIDED WERE TAKEN FROM THE MANUFACTURER'S PUBLICLY AVAILABLE INFORMATION AND IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. THE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING INSTALLATION REQUIREMENTS WITH THE MANUFACTURER.

