



August 31, 2023

Town of Dryden
93 East Main Street
Dryden, NY 13053
Attn: Ray Burger – Director of Planning

Re: Town Board Submittal – Planned Unit Development (PUD) Amendment
Evergreen Apartments
1061 Dryden Road (Tax ID: 55.-1-16)
Dryden, NY

Dear Ray,

On behalf of our client, Park Grove Realty, we are pleased to submit this letter and enclosed information to initiate the Town Board's review of the requested amendment to the previously approved Planned Unit Development (PUD) for this project.

As you know, the PUD was originally approved by the Town Board on May 30th, 2017 and subsequently received approval for an amendment on May 19, 2022. Since the project was last amended, the project and parcel have been acquired by Park Grove Realty. Under this design, the Project team obtained construction pricing and determined the site and buildings were infeasible of being built given the current construction climate. As a result, Park Grove Realty determined that it did not make sense to proceed with the project as proposed in the previously amended PUD.

Over the last few months, the project team has worked to refine the site and building drawing package for issuance to bidding contractors with the intent to start construction this fall. They have invested a significant amount of resources to create a design that was feasible of being built and improved living experience for individuals and families.

Park Grove Realty is proposing an alternative development plan consisting of four (4), ten (10) unit apartment buildings and one ranch style tri-plex townhome building. The resulting development produces a net reduction in the total number of beds versus that provided in the amended PUD, more dedicated recreational space, less impervious cover which increases overall greenspace as well as an increase in the number of parking spaces. The ten unit apartment buildings have a number of improved amenities, including open floor plans, private entry ways, and patios and decks for families. The revised layout also maintains pedestrian connectivity to the Dryden Rail Trail and Dryden Road as well as visual buffering with screen fencing and existing vegetation.

The ten-unit apartment building is one that Park Grove Realty is familiar with constructing locally and in the Rochester, NY market. A local example can be seen at Park Grove Realty's East Pointe Apartments located on Bomax Drive in Lansing. Park Grove Realty considers the building's interior and exterior materials and finishes included in these updated drawings as an improvement from that originally included in the amended PUD. The finishes proposed at 1061 Dryden will be high-end market rate finishes.

The project team has experience with the tri-plex as well. While the information enclosed, represents a single unit, the architect is able to configure the same unit footprint into the overall tri-plex layout illustrated on the enclosed

Site Plan. We will provide colored elevations of the tri-plex unit for discussion at the meeting noted below but the intent is to match the interior and exterior materiality as the 10-plex apartment units.

By incorporating these changes, the development team considers the revised project an overall improvement from that originally approved. A side-by-side comparison of the key features between the two projects is as follows:

Design Features	Original Design	Revised Design
Impervious Surface	±2.4 acres	±2.0 acres
Number of Bedrooms	90	82 bedrooms
Dedicated Recreational Space	±5,700 SF	±12,000 SF
Garage Parking	7 per building, 42 total	11 per building, 3 at townhomes for a total of 47
Site Parking	95 total (11 onsite & 84 in driveway)	108 total (14 onsite, 88 in apartment driveways/garages & 6 in townhome driveway/garages)
Snow Storage	Minimal	Increased opportunities for snow storage
Stormwater	Not as centralized	Centralized Stormwater Design
Sprinklers	No	Yes
Accessible Units	No	First floor units could be accessible
Patios and Balconies	Yes	Yes, with increased privacy
1 bedroom units	No	Yes
Bathrooms in 2 bedroom units	1	2
Green Energy Certified	No	Yes, HUD

Our team recently met with the Town Planning Board on August 24, 2023 to solicit feedback on these proposed changes. While the Planning Board did pass a resolution expressing support for the revised changes, one item in particular they asked us to review was the separation of two nearest buildings to the eastern property line. It should be noted that the Site Plan included in the original PUD approval had the nearest building situated approximately 15' from the eastern property line. The Site Plan reflected in the previous amendment to the PUD provided a smaller building which expanded that setback to approximately 30'. The Site Plan currently proposed has the nearest building approximately 21' from the eastern property line which is further than that provided in the original PUD approval.

It is Park Grove Realty's opinion that these revisions produce a significant improvement from the previous design by providing a number of benefits, including less impactful site design, more greenspace, higher-end buildings with greater amenities to residents, greater accessibility, and green building features. In addition, Park Grove believes this design is much more financially feasible than the previous design, and is hopeful to begin construction this fall. As such, we respectfully request the Town Board's approval of the requested amendment to PUD associated with this project.

Town Board Submittal
Evergreen Apartments
1061 Dryden Road

8/31/23

So the Town of Dryden may consider the enclosed PUD amendment request, we are providing the following:

- This Letter – 10 copies
- Site Plans (2 sheets), Full Size – 1 set
- Site Plans (2 sheets), Reduced Size – 10 sets
- 10 Unit Apartment Building Floor Plans and Elevations, Full Size – 1 set
- 10 Unit Apartment Building Floor Plans and Elevations, Reduced Site – 10 sets
- Tri-Plex Floor Plan and Elevation, Full Size – 1 set
- Tri-Plex Floor Plan and Elevation, Reduced Size – 10 sets
- 10 Unit Apartment Building Front Elevation Color Rendering, 11x17 – 10 copies
- 10 Unit Apartment Building Rear Elevation Representative Photographs – 10 copies

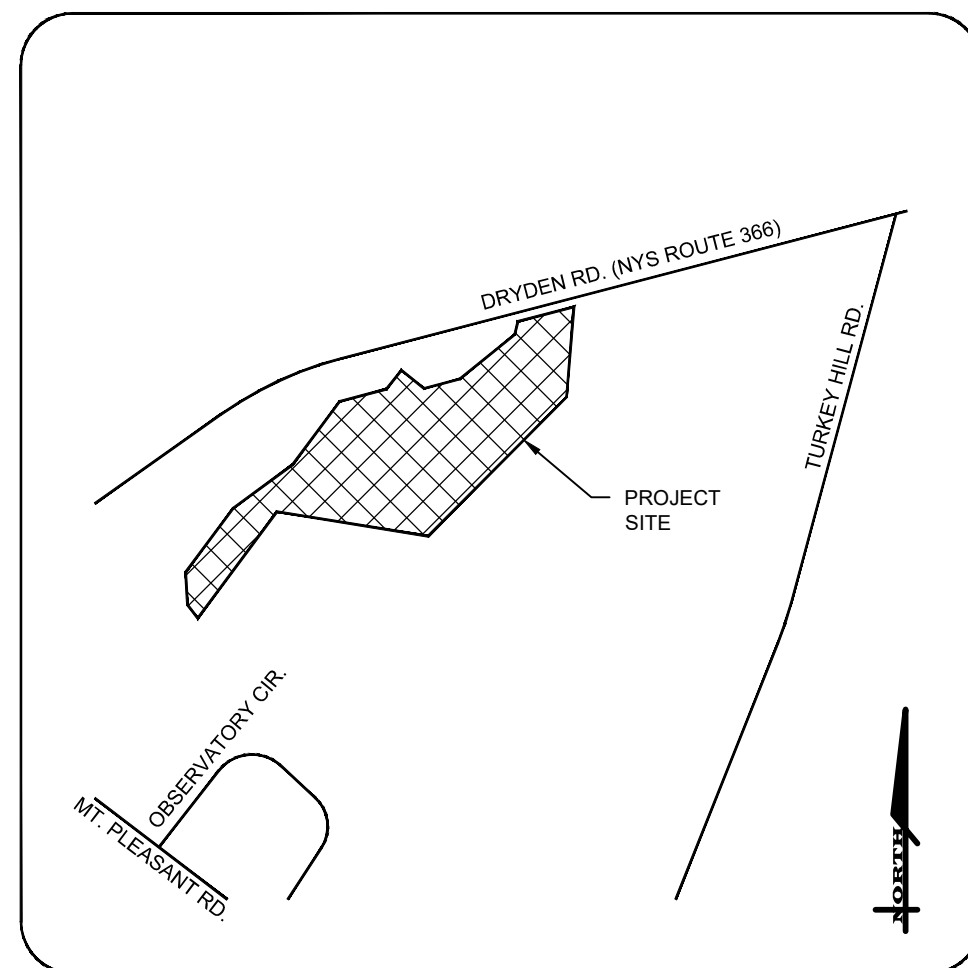
We respectfully request that this project be placed on the September 14th, 2023, Town Board agenda where we will discuss the specifics surrounding the requested PUD amendment discussed above. Please do not hesitate to contact our office if you have any questions or need additional information.

Respectfully submitted,

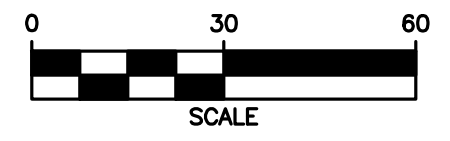


Adam M. Fishel, PE
Marathon Engineering

CC – Tim Crilly – Park Grove Realty



MERIDIAN OF SURVEY MAP LANDS OF WAYNE & HEIDI WOODWARD... DATED 11/9/2013 BY MICHAEL J. REAGAN



REFUSE/RECYCLABLE MATERIAL MANAGEMENT

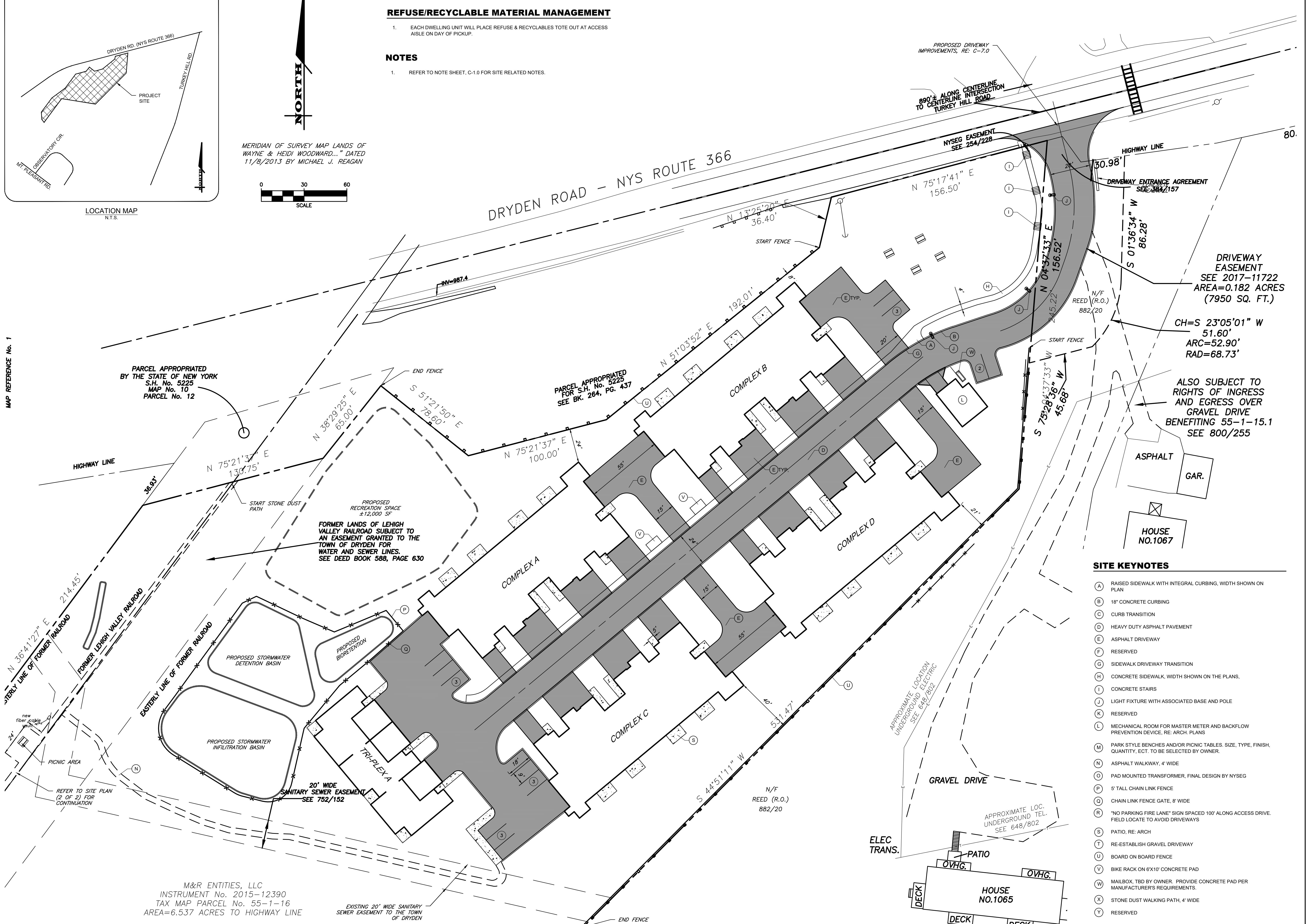
- EACH DWELLING UNIT WILL PLACE REFUSE & RECYCLABLES TOTE OUT AT ACCESS AISLE ON DAY OF PICKUP.

NOTES

- REFER TO NOTE SHEET, C-1.0 FOR SITE RELATED NOTES.

LOCATION MAP N.T.S.

MAP REFERENCE No. 1



PARCEL APPROPRIATED BY THE STATE OF NEW YORK S.H. No. 5225 MAP No. 10 PARCEL No. 12

PARCEL APPROPRIATED FOR S.H. No. 5225 SEE BK. 264, PG. 437

FORMER LANDS OF LEHIGH VALLEY RAILROAD SUBJECT TO AN EASEMENT GRANTED TO THE TOWN OF DRYDEN FOR WATER AND SEWER LINES. SEE DEED BOOK 588, PAGE 630

M&R ENTITIES, LLC
INSTRUMENT No. 2015-12390
TAX MAP PARCEL No. 55-1-16
AREA=6.537 ACRES TO HIGHWAY LINE

EXISTING 20' WIDE SANITARY SEWER EASEMENT TO THE TOWN OF DRYDEN

PROPOSED DRIVEWAY IMPROVEMENTS, RE. C-7.0
890' ± ALONG CENTERLINE TO CENTERLINE INTERSECTION TO TURKEY HILL ROAD

NYSEG EASEMENT SEE 254/228

DRIVEWAY ENTRANCE AGREEMENT SEE 2017-11722

DRIVEWAY EASEMENT SEE 2017-11722 AREA=0.182 ACRES (7950 SQ. FT.)

CH=S 23°05'01" W 51.60' ARC=52.90' RAD=68.73'

ALSO SUBJECT TO RIGHTS OF INGRESS AND EGRESS OVER GRAVEL DRIVE BENEFITING 55-1-15.1 SEE 800/255

SITE KEYNOTES

- (A) RAISED SIDEWALK WITH INTEGRAL CURBING, WIDTH SHOWN ON PLAN
- (B) 18" CONCRETE CURBING
- (C) CURB TRANSITION
- (D) HEAVY DUTY ASPHALT PAVEMENT
- (E) ASPHALT DRIVEWAY
- (F) RESERVED
- (G) SIDEWALK DRIVEWAY TRANSITION
- (H) CONCRETE SIDEWALK, WIDTH SHOWN ON THE PLANS.
- (I) CONCRETE STAIRS
- (J) LIGHT FIXTURE WITH ASSOCIATED BASE AND POLE
- (K) RESERVED
- (L) MECHANICAL ROOM FOR MASTER METER AND BACKFLOW PREVENTION DEVICE, RE. ARCH. PLANS
- (M) PARK STYLE BENCHES AND/OR PICNIC TABLES. SIZE, TYPE, FINISH, QUANTITY, ECT. TO BE SELECTED BY OWNER.
- (N) ASPHALT WALKWAY, 4' WIDE
- (O) PAD MOUNTED TRANSFORMER, FINAL DESIGN BY NYSEG
- (P) 5' TALL CHAIN LINK FENCE
- (Q) CHAIN LINK FENCE GATE, 8' WIDE
- (R) "NO PARKING FIRE LANE" SIGN SPACED 100' ALONG ACCESS DRIVE. FIELD LOCATE TO AVOID DRIVEWAYS
- (S) PATIO, RE. ARCH
- (T) RE-ESTABLISH GRAVEL DRIVEWAY
- (U) BOARD ON BOARD FENCE
- (V) BIKE RACK ON 6'x10' CONCRETE PAD
- (W) MAILBOX, TBD BY OWNER. PROVIDE CONCRETE PAD PER MANUFACTURER'S REQUIREMENTS.
- (X) STONE DUST WALKING PATH, 4' WIDE
- (Y) RESERVED

MARATHON ENGINEERING
ROCHESTER LOCATION
39 CASCADE DRIVE
ROCHESTER, NY 14614
585-4458-7770
ITHACA LOCATION
840 HANSHAW RD, STE 6
ITHACA, NY 14850
607-241-2917
www.marathoneng.com

SITE DEVELOPMENT PLANS
for
PG DRYDEN, LLC
1061 DRYDEN ROAD (NYS ROUTE 366)
TOMPKINS COUNTY
STATE OF NEW YORK
TOWN OF DRYDEN

JOB NO: 1495-22
SCALE: 1"=30'
DRAWN: RLJ
DESIGNED: AMF
DATE: 8/30/23

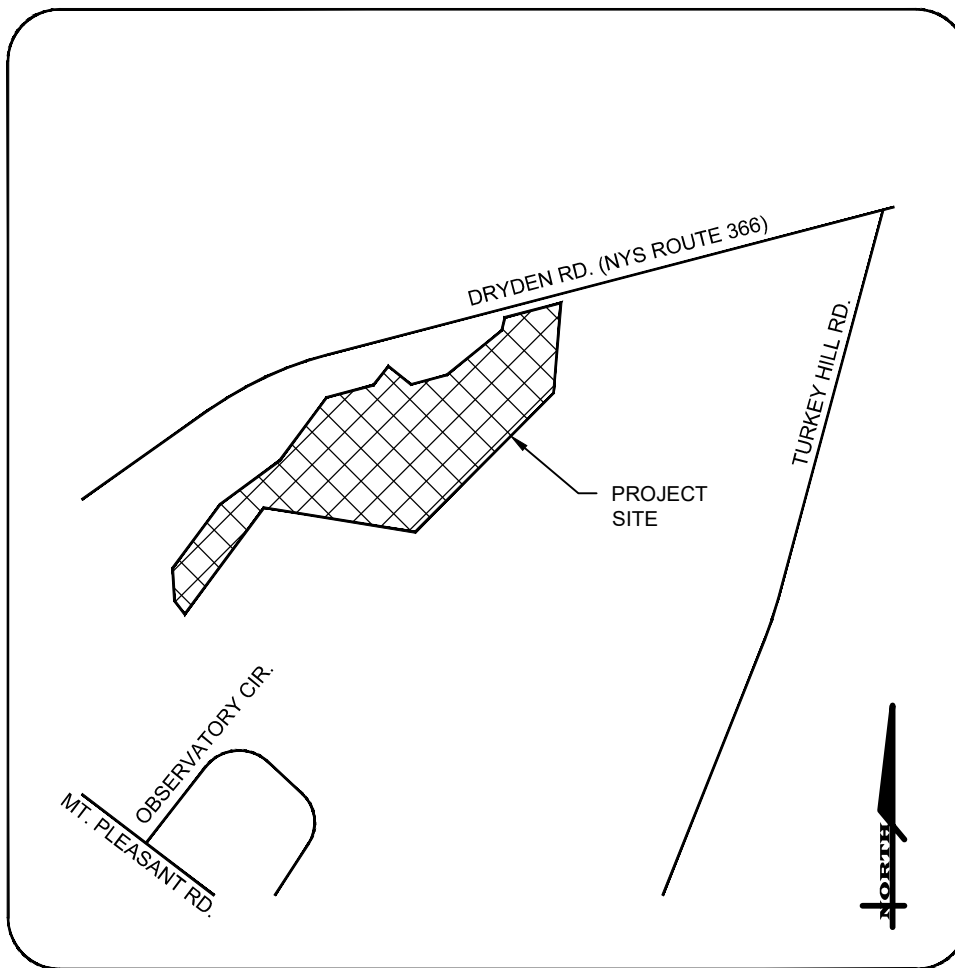
REVISIONS

DATE	BY	REVISION

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STATE OF NEW YORK
NOT FOR CONSTRUCTION
NO. 086648
PROFESSIONAL ENGINEER
ADAM M. FISHEL

DRAWING TITLE:
Site Plan
2 of 16
SHEET No: **C-2.0**
1495-22
JOB No: DRAWING No:

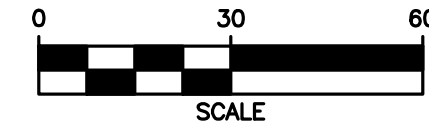
File: I:\Engineering\Job Files\1495-22\Drawings\Sheets\C-2.0 Site Plan (1 of 2).dwg, Last saved: 8/30/2023, Plot Date: 8/31/2023, By: AFTSHEL, Plot Style: ---



LOCATION MAP
N.T.S.

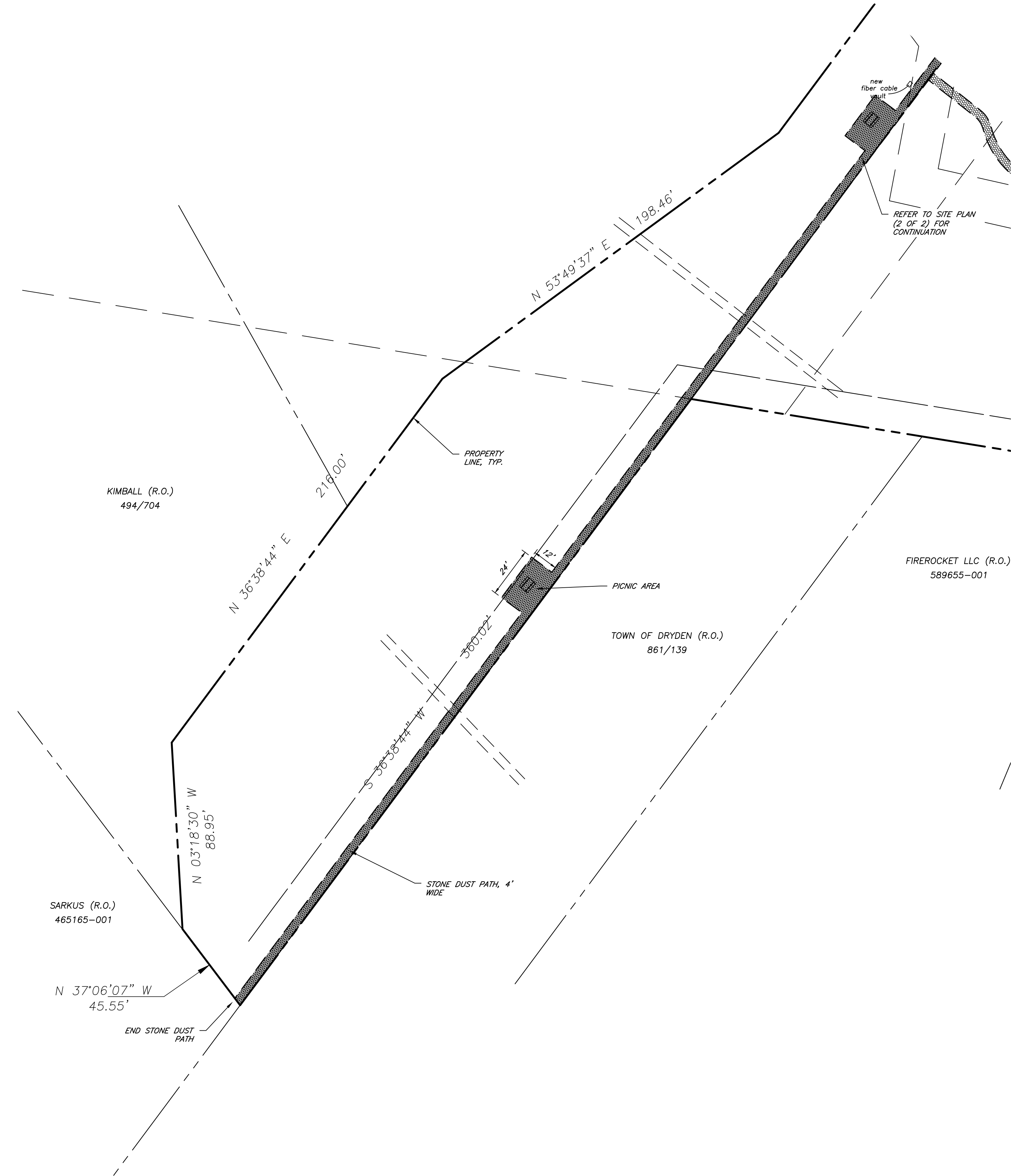


MERIDIAN OF SURVEY MAP LANDS OF WAYNE & HEIDI WOODWARD... DATED 11/9/2013 BY MICHAEL J. REAGAN



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SITE DEVELOPMENT PLANS
 for
PG DRYDEN, LLC

STATE OF NEW YORK
 TOMPKINS COUNTY
 1061 DRYDEN ROAD (NYS ROUTE 366)
 TOWN OF DRYDEN

JOB NO: 1495-22
 SCALE: 1"=30'
 DRAWN: RLJ
 DESIGNED: AMF
 DATE: 8/30/23

REVISIONS		
DATE	BY	REVISION

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ADAM M. FISHEL

DRAWING TITLE:
 Site Plan (2 of 2)

3 of 16
 SHEET No: C-2.1
 1495-22
 JOB No: DRAWING No:



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

- ELEVATION SPECIFICATION NOTES:**
- 2.0 SITE WORK**
 2.1 GRADE VARIES (REFER TO SITE ENGINEER'S GRADING PLAN)
 2.2 BUILDING STEP VERIFY STEP HT. AND LOCATION W/ SITE PLAN (STEPPED BUILDINGS ONLY)
- 3.0 CONCRETE**
 3.1 CONCRETE SPREAD FOOTING. REFER TO FOUNDATION PLAN FOR SIZING
 3.2 CONCRETE PORCH, FLUSH WITH INTERIOR FLOOR. SLOPE AWAY FROM BUILDING
 3.3 SLOPE SIDEWALK TO PORCH 1/12 MAX. SLOPE
 3.4 STEP FTG. AS REQ. TO MAINTAIN 3'-6" MIN. FROST DEPTH SEE DETAIL '3' SHT. A-7.1 (STEPPED BUILDINGS ONLY)
- 4.0 MASONRY**
 4.1 CONCRETE BLOCK FOUNDATION WALL
 4.2 LIGHT WEIGHT STONE VENEER MFR., STYLE & COLOR T.B.D
 4.3 PRECAST STONE SILL
- 5.0 METALS**
 5.1 1x2 OVER 2x8 ALUMINUM WRAPPED RAKES
 5.2 2x6 ALUMINUM WRAPPED FASCIA WITH METAL DRIP EDGE W/ 5" ALUMINUM K. GUTTER WITH DOWNSPOUTS. FINAL LOCATION BY CONTRACTOR IN FIELD.
- 6.0 WOODS & PLASTICS**
 6.1 6" VINYL CORNER BOARDS
 6.2 1x6 PVC GABLE FRIEZE
 6.3 1x6 PVC FRIEZE AT EAVE, 2x8 AT SECOND FLR. BAND
 6.4 1x8 PVC CROSSHEAD AT WINDOWS, DOORS AND OVERHEAD GARAGE DOORS.
 6.5 1x6 PVC SIDE CASING AT WINDOWS & DOORS
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 6.8 1x PVC WRAPPED BOX BEAMS AND RING JOIST FASCIA. TYPICAL AT ALL PORCH AND DECK LOCATIONS
 6.9 6" x 6" P.T. POST W/ PVC WRAP. BASE & CAP MOLDING TYPICAL AT ALL PORCH AND DECK LOCATIONS
 6.10 42"H METAL REINFORCED PVC GUARD RAIL SYSTEM. SEE DETAILS SHEET A-7.2
 6.11 PVC PANEL
 6.12 5/4 x 6 P.T. DECKING MATERIAL AS SELECTED P.T. DECK JOISTS
 6.13 PRIVACY FENCE, SEE DETAIL 3G, SHEET A-7.2
 6.14 4x8 PVC BOARD BEHIND GAS & ELEC. METERS. LOCATION TO BE DETERMINED ON SITE
- 7.0 THERMAL & MOISTURE PROTECTION**
 7.1 25 YEAR MIN. ARCHITECTURAL FIBERGLASS / ASPHALT SHINGLES. MFR., TYPE & COLOR T.B.D.
 7.2 5" T.W. VINYL SIDING. MFR., TYPE & COLOR T.B.D.
 7.3 RIDGE VENTS, BREAK VENTS AT DRAFT STOPPING, SEE SHT. A-5
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- 8.0 WINDOWS AND DOORS**
 8.1 SILVERLINE (V1) SERIES LOW-E WARGON SINGLE HUNG WINDOWS WITH GRILLES AS SHOWN. (U VALUE .30) SHGC .27. AIR INFILTRATION RATE ≤ 0.3CFM/FT.² OR EQUAL)
 8.2 THERMA TRU 593 ENTRY DOORS (W/ SILLITES PER ELEVATION) 9'0" x 7'0" (ONE CAR GARAGE) OR 1'6'0" x 7'0" (TWO CAR GARAGE) WAYNE DALTON 8000 SERIES OVERHEAD INSULATED STEEL DOORS.
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- LEGEND:**
 (E) WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER 2020 BCNYS SECTION 1030
 (T) WINDOW MEETS REQUIREMENTS FOR HAZARDOUS LOCATIONS NEEDING SAFETY GLAZING PER 2020 BCNYS SECTION 2406
 (S) WINDOW MEETS REQUIREMENTS FOR WINDOWS NEEDING WINDOW FALL PROTECTION PER 2020 BCNYS SECTION 1015.8

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REVISIONS:

NO.	DATE	BY	DESCRIPTION
1	10-6-22	ART	W/DW. & DR. CROSSHEADS FULL STONE TO HALF

PROJECT:
 GENESEE POINTE APTS.
 10-UNIT APARTMENT
 HENRIETTA, NEW YORK

BUILDINGS 1, 7, 8 & 11

CLIENT:
 PG RIVERTON PARCEL E LLC

DRAWING TITLE:
 FRONT ELEVATION

PHASE:
 CONSTRUCTION DOCUMENTS

JOB NO. A22-101	PROJECT NO. APARTMENTS
DRAWN BY: ART	DRAWING NO.: A-1
CHECKED BY: AQR	
DATE: 10-4-2022	

James Fahy Design
 2024 W. Henrietta Rd., Suite 3K
 Rochester, New York 14623
 tel: 585-273-1650
 e-mail: info@jamesfahy.com
 website: www.jamesfahy.com





REAR ELEVATION

SCALE: 1/4" = 1'-0"



ELEVATION SPECIFICATION NOTES:

- 2.0 SITE WORK**
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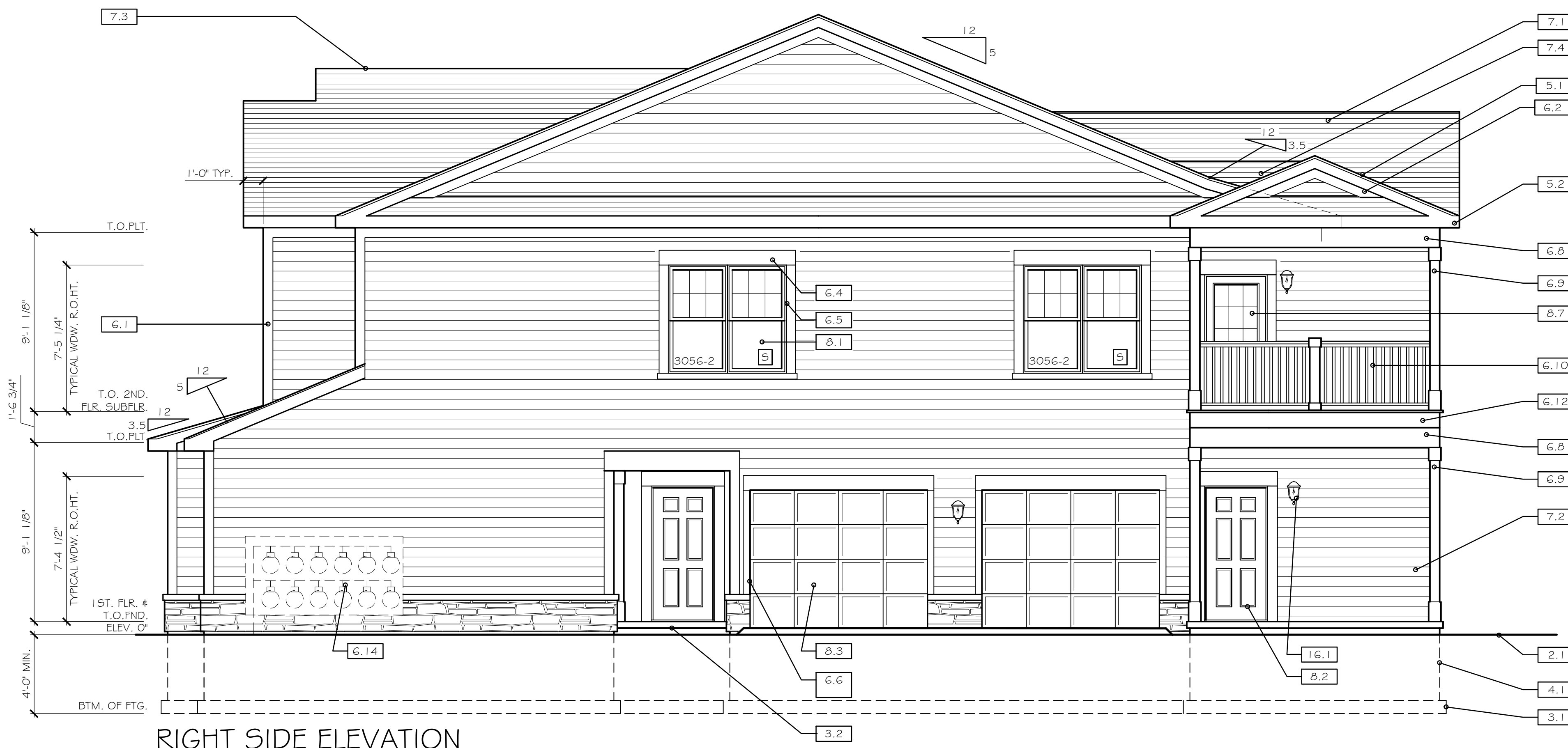
JOB NO. A22-101	PROJECT NO. APARTMENTS
DRAWN BY: ART	DRAWING NO.: A-1.1
CHECKED BY: AQR	
DATE: 10-4-2022	

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Rochester, New York 14623
tel: 585-273-1650
e-mail: info@jamesfahy.com
website: www.jamesfahy.com



LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

ELEVATION SPECIFICATION NOTES:

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 - 3.2 CONCRETE PORCH, FLUSH WITH INTERIOR FLOOR. SLOPE AWAY FROM BUILDING
 - 3.3 SLOPE SIDEWALK TO PORCH 1/12 MAX. SLOPE
 - 3.4 STEP FTG. AS REQ. TO MAINTAIN 3'-6" MIN. FROST DEPTH SEE DETAIL 3'1' SHT. A-7.1 (STEPPED BUILDINGS ONLY)
- 4.0 MASONRY
 - 4.1 CONCRETE BLOCK FOUNDATION WALL
 - 4.2 LIGHT WEIGHT STONE VENEER MFR., STYLE # COLOR T.B.D
 - 4.3 PRECAST STONE SILL
- 5.0 METALS
 - 5.1 1x2 OVER 2x8 ALUMINUM WRAPPED RAKES
 - 5.2 2x6 ALUMINUM WRAPPED FASCIA WITH METAL DRIP EDGE W/ 5' ALUMINUM K GUTTER WITH DOWNSPOUTS. FINAL LOCATION BY CONTRACTOR IN FIELD.
- 6.0 WOODS & PLASTICS
 - 6.1 6" VINYL CORNER BOARDS
 - 6.2 1x6 PVC GABLE FRIEZE
 - 6.3 1x6 PVC FRIEZE AT EAVE, 2x8 AT SECOND FLR. BAND
 - 6.4 1x8 PVC CROSSHEAD AT WINDOWS, DOORS AND OVERHEAD GARAGE DOORS.
 - 6.5 1x6 PVC SIDE CASING AT WINDOWS & DOORS
 - 6.6 1x4 PVC SIDE CASING AT OVERHEAD GARAGE DOORS
 - 6.7 1x4 PVC SILL AT WINDOWS
 - 6.8 1x PVC WRAPPED BOX BEAMS AND RING JOIST FASCIA. TYPICAL AT ALL PORCH AND DECK LOCATIONS
 - 6.9 6" x 6" P.T. POST W/ PVC WRAP, BASE & CAP MOLDING TYPICAL AT ALL PORCH AND DECK LOCATIONS
 - 6.10 42" METAL REINFORCED PVC GUARD RAIL SYSTEM, SEE DETAILS SHEET A-7.2
 - 6.11 PVC PANEL
 - 6.12 5/4 x 6 P.T. DECKING MATERIAL AS SELECTED P.T. DECK JOISTS
 - 6.13 PRIVACY FENCE, SEE DETAIL 3G, SHEET A-7.2
 - 6.14 4x8 PVC BOARD BEHIND GAS & ELEC. METERS, LOCATION TO BE DETERMINED ON SITE
- 7.0 THERMAL & MOISTURE PROTECTION
 - 7.1 25 YEAR MIN. ARCHITECTURAL FIBERGLASS / ASPHALT SHINGLES, MFR., TYPE & COLOR T.B.D.
 - 7.2 5" T.W. VINYL SIDING, MFR., TYPE & COLOR T.B.D.
 - 7.3 RIDGE VENTS, BREAK VENTS AT DRAFT STOPPING, SEE SHT. A-5
 - 7.4 SADDLE (SEE ROOF FRAMING PLAN)
 - 7.5 VINYL SHAKE SIDING
- 8.0 WINDOWS AND DOORS
 - 8.1 SILVERLINE (V1) SERIES LOW-E WARGON SINGLE HUNG WINDOWS WITH GRILLES AS SHOWN. (U VALUE .30/ SHGC .27, AIR INFILTRATION RATE ≤ 0.3CFM/FT.² OR EQUAL)
 - 8.2 THERMA TRU 593 ENTRY DOORS (W/ SIDLITES PER ELEVATION) 90" x 70" (ONE CAR GARAGE) OR 160" x 70" (TWO CAR GARAGE) WAYNE DALTON 8000 SERIES OVERHEAD INSULATED STEEL DOORS.
 - 8.3 SILVERLINE, 5800 SERIES WHITE SLIDING DR. (W/ GRILLES AS SHOWN) (LOW-E W/ ARGON U-.28/ SHGC .26 OR EQUAL) W/ ADA COMPLIANCE HARDWARE & THRESHOLD KIT (LOWER UNITS ONLY)
 - 8.4 SILVERLINE, 5800 SERIES WHITE SLIDING DR. (W/ GRILLES AS SHOWN) (LOW-E W/ ARGON U-.28/ SHGC .26 OR EQUAL) (UPPER UNITS ONLY)
 - 8.5 NOT USED
 - 8.6 KOLBE, LATITUDE SERIES WHITE FRENCH DR. (W/ GRILLES AS SHOWN) (LOW-E W/ ARGON U-.28/ SHGC .26 OR EQUAL)
 - 8.7 SILVERLINE (V1) SERIES LOW-E WARGON CASEMENT WINDOWS
- 16.0 ELECTRICAL
 - 16.1 PROVIDE WALL MOUNTED LIGHTING AT OVERHEAD GARAGE DOOR LOCATIONS AND SURFACE MOUNTED DOWN LIGHTS AT UNIT ENTRY CEILINGS
 - 16.2 SINGLE VRP OUTDOOR UNIT - HEAT PUMP (10 LOCATIONS)

LEGEND:

⊙	WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER 2020 BCNYS SECTION 1030
⌈	WINDOW MEETS REQUIREMENTS FOR HAZARDOUS LOCATIONS NEEDING SAFETY GLAZING PER 2020 BCNYS SECTION 240G
⊞	WINDOW MEETS REQUIREMENTS FOR WINDOWS NEEDING WINDOW FALL PROTECTION PER 2020 BCNYS SECTION 1015.8

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REVISIONS:

NO.	DATE	BY	DESCRIPTION
1	10-6-22	ART	WDW. & DR. CROSSHEADS FULL STONE TO HALF

PROJECT:
GENESEE POINTE APTS.
10-UNIT APARTMENT
HENRIETTA, NEW YORK

BUILDINGS 1, 7, 8 & 11

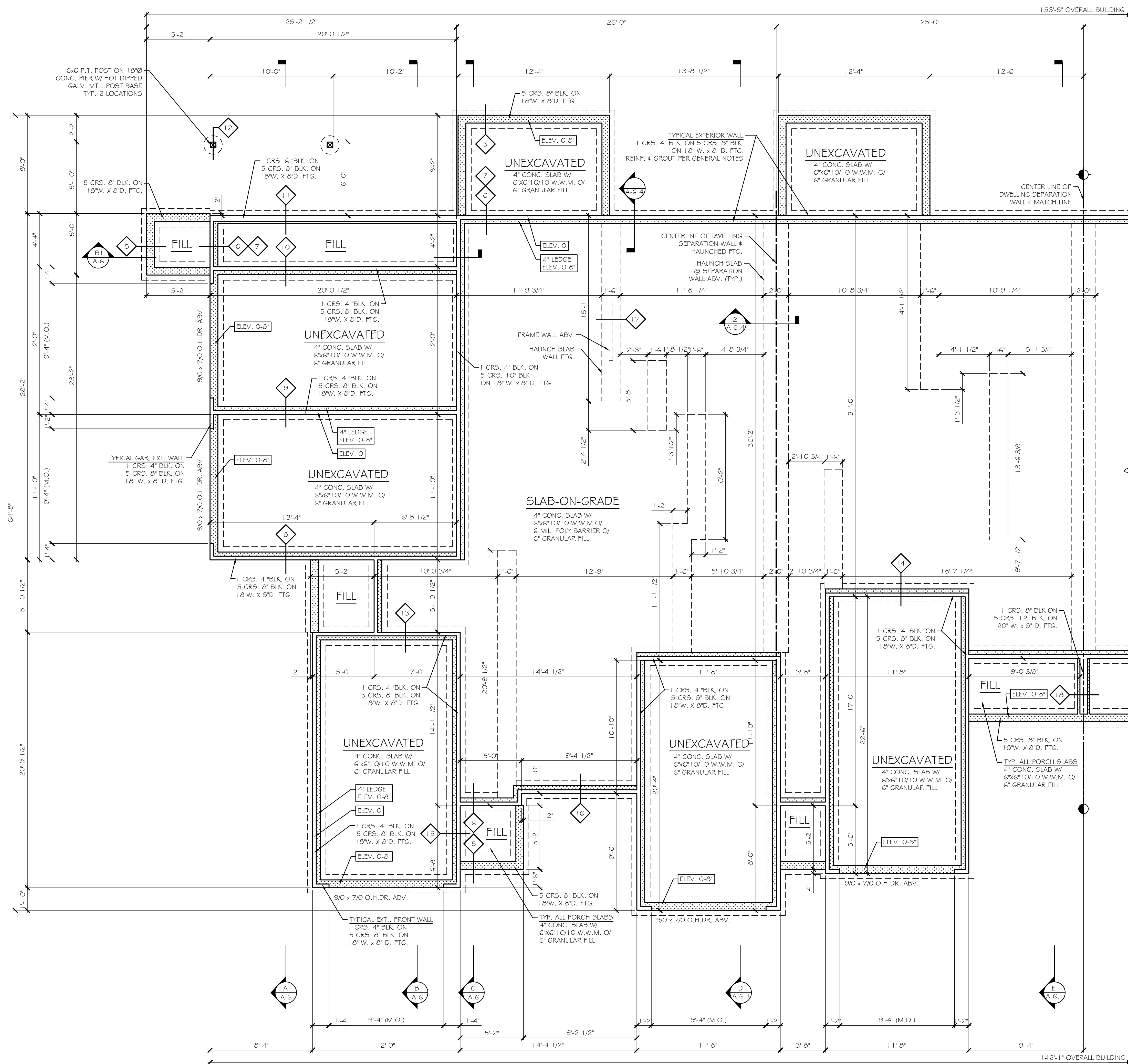
CLIENT:
PG RIVERTON PARCEL E LLC

DRAWING TITLE:
SIDE ELEVATIONS

PHASE:
CONSTRUCTION DOCUMENTS

JOB NO. A22-101	PROJECT NO. APARTMENTS
DRAWN BY: ART	DRAWING NO.: A-1.2
CHECKED BY: AQR	
DATE: 10-4-2022	

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e-mail: info@jamesfahy.com
website: www.jamesfahy.com



GENERAL NOTES: UNLESS OTHERWISE NOTED

CONSTRUCTION NOTES:

- SLABS AT PATIOS, PORCHES, WALKWAYS AND GARAGES TO BE 3500 PSI MIN., AIR ENTRAINED.
- INTERIOR SLABS SHALL BE 2500 PSI MIN. AND SHALL BE AIR ENTRAINED IF SUBJECT TO FREEZING AND THAWING DURING CONSTRUCTION.
- WALLS AND SPREAD FOOTING TO BE 3000 PSI MIN. W/ REINFORCING AS NOTED AND SHALL BE AIR ENTRAINED IF SUBJECT TO FREEZING AND THAWING DURING CONSTRUCTION.
- INSTALL 1" DEEP x 1/4" WIDE CONTROL JOINTS IN SLAB EVERY 300 S.F. ±
- GROUT CORES SOLID @ ALL 4" x 6" BLK. LOCATIONS AND IN THE STARTING COURSE ON FOUNDATION WHERE ADJACENT CELLS OR CAVITIES ARE TO BE GROUTED.
- GROUT CORES SOLID AT ALL LOCATIONS RECEIVING VERTICAL REINFORCING.
- ALL SLABS TO BE REINFORCED WITH WIRE MESH AS NOTED
- ALL CONCRETE WORK SHALL CONFORM TO THE REQUIREMENTS OF ACI 318 AND CHAPTER 2020 BCNYS
- CONCRETE MASONRY SHALL CONFORM TO THE REQUIREMENTS OF ACI AND CHAPTER 21 2020 BCNYS
- CONCRETE MASONRY UNITS SHALL CONFORM TO ASTM C-90 TYPE I, GRADE N, MOISTURE CONTROLLED UNITS. MORTAR SHALL BE TYPE M OR S
- GROUT SHALL CONFORM TO ASTM C476 WITH A MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI AT 28 DAYS. GROUT SHALL BE PLACED IN LIFTS NOT EXCEEDING 7 COURSES IN HEIGHT UNLESS OTHERWISE APPROVED BY THE ARCHITECT.
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- ALL FOOTINGS (INCLUDING HAUNCHED SLAB SHALLOW WALL FOOTINGS) MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL. (SEE NOTE BELOW)
- ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3 INCHES. IMPORTED MATERIALS USED AS ENGINEERED FILL SHALL BE CLOSE IN GRADATION TO N.Y.S. D.O.T. ITEM 203.07 (SELECT GRANULAR FILL). FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8 INCHES IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D 1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM.
- PROVIDE CHEMICAL HARDENER AND SEALER TO ALL TROWEL FINISHED INTERIOR FLOORS WHICH ARE TO BE LEFT EXPOSED
- PROVIDE A NON SKID FINISH TO ALL CONCRETE WALKWAYS AND PITCH TO AVOID PONDING.

TYPICAL REINFORCING:

- ALL WALL FOOTINGS TO HAVE 2 NO. 5 BARS CONTINUOUS
- REINFORCE ALL FOUNDATION WALLS W/ NO. 4 BAR 48" O.C. VERTICAL, TIED TO FOOTING W/ 3" HOOK
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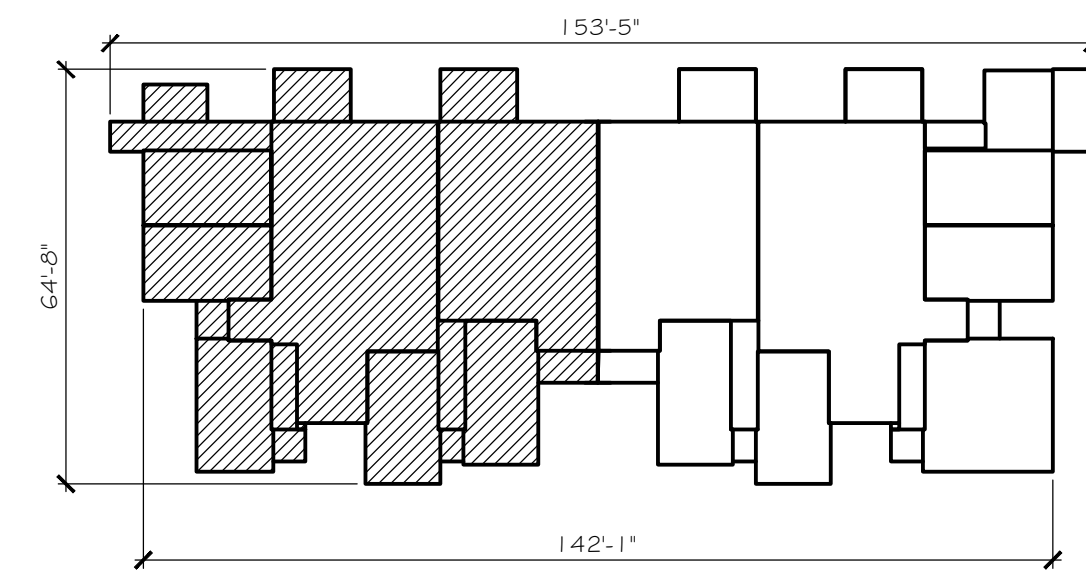
GENERAL NOTES:

- ALL ANGLES TO BE 12/12

LEGEND:

ELEV. = 0' - 1 CR5.

ELEV. = 0 - 8" CONSTRUCTION DETAIL
ALL DETAILS SHOWN ON SHEETS A-7 TO A-7.2



FOUNDATION PLAN
SCALE: 1/4"=1'-0"

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REVISIONS:

NO.	DATE	BY	DESCRIPTION
1	10-6-22	ART	W/DW. # DR. CROSSHEADS FULL STONE TO HALF

PROJECT:
GENESEE POINTE APTS.
10-UNIT APARTMENT
HENRIETTA, NEW YORK

BUILDINGS 1, 7, 8 # 11

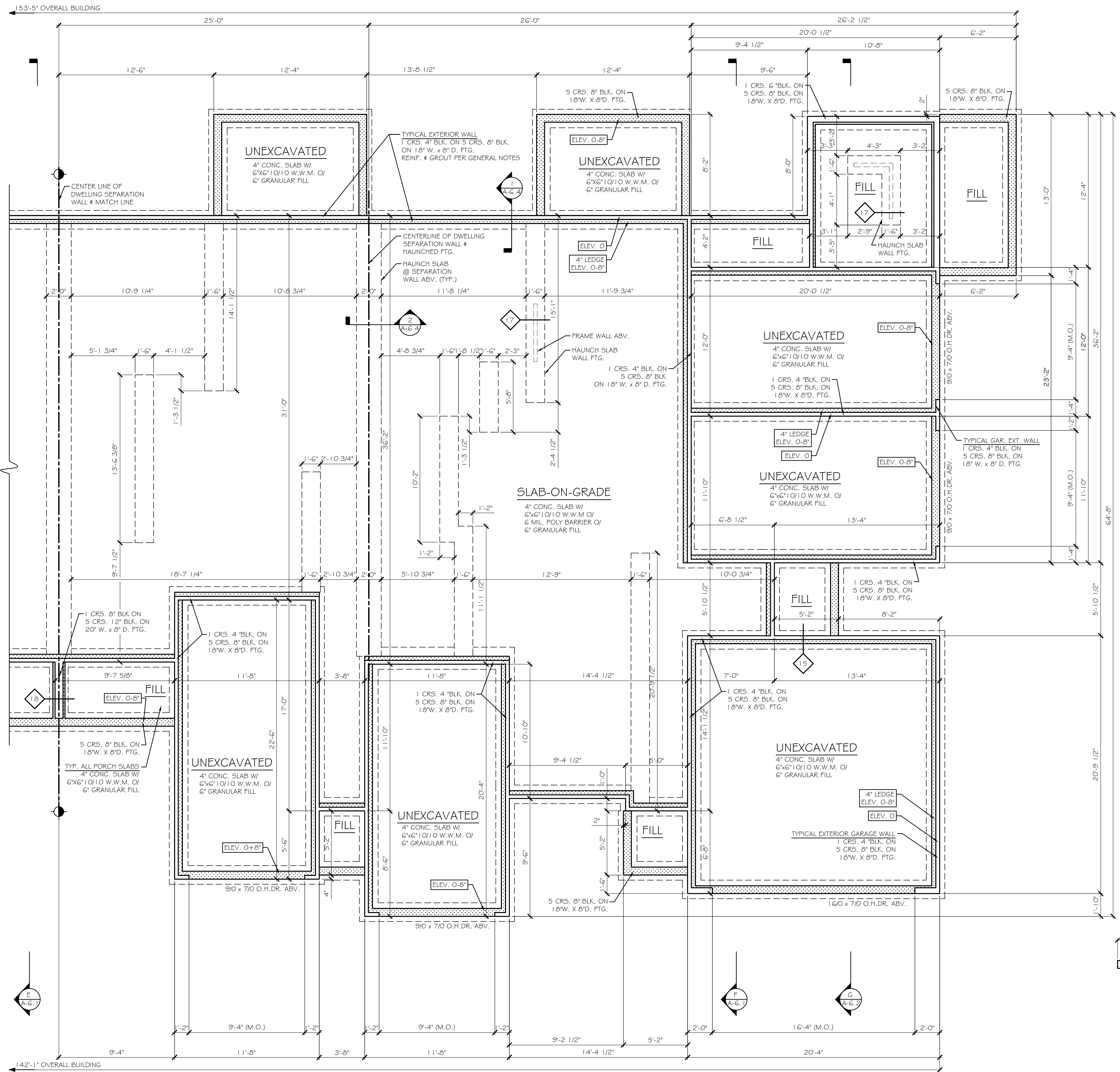
CLIENT:
PG RIVERTON PARCEL E LLC

DRAWING TITLE:
FOUNDATION PLAN

PHASE:
CONSTRUCTION DOCUMENTS

JOB NO. A22-101	PROJECT NO. APARTMENTS
DRAWN BY: ART	DRAWING NO.: A-2
CHECKED BY: AQR	
DATE: 10-4-2022	

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GENERAL NOTES:

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LEGEND:

ELEV. = 0" - 1 CRS.

ELEV. = 0'-8" - 1 CRS.

CONSTRUCTION DETAIL
ALL DETAILS SHOWN ON SHEETS A-7 TO A-7.2

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REVISIONS:

NO.	DATE	BY	DESCRIPTION
1	10-6-22	ART	WDW. & DR. CROSSHEADS FULL STONE TO HALF

PROJECT:
GENESEE POINTE APTS.
10-UNIT APARTMENT
HENRIETTA, NEW YORK

BUILDINGS 1, 7, 8 & 11

CLIENT:
PG RIVERTON PARCEL E LLC

DRAWING TITLE:
FOUNDATION PLAN

PHASE:
CONSTRUCTION DOCUMENTS

JOB NO.:
A22-101

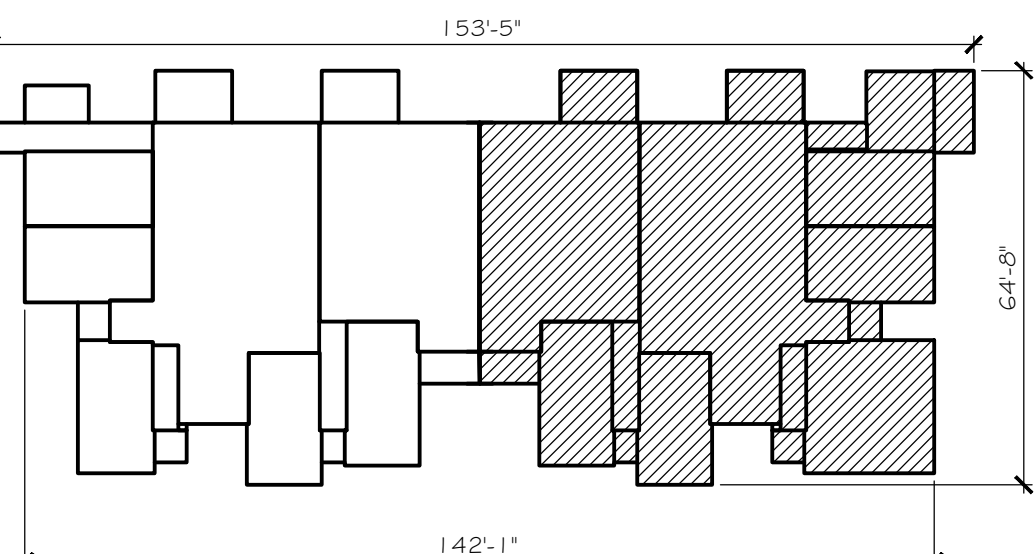
PROJECT NO.:
APARTMENTS

DRAWN BY:
ART

DRAWING NO.:
A-2.1

CHECKED BY:
AQR

DATE:
10-4-2022



FOUNDATION PLAN
SCALE: 1/4"=1'-0"



Representative Rear Elevation Photos (Taken from East Pointe Apartments, Bomax Drive, Lansing, NY)





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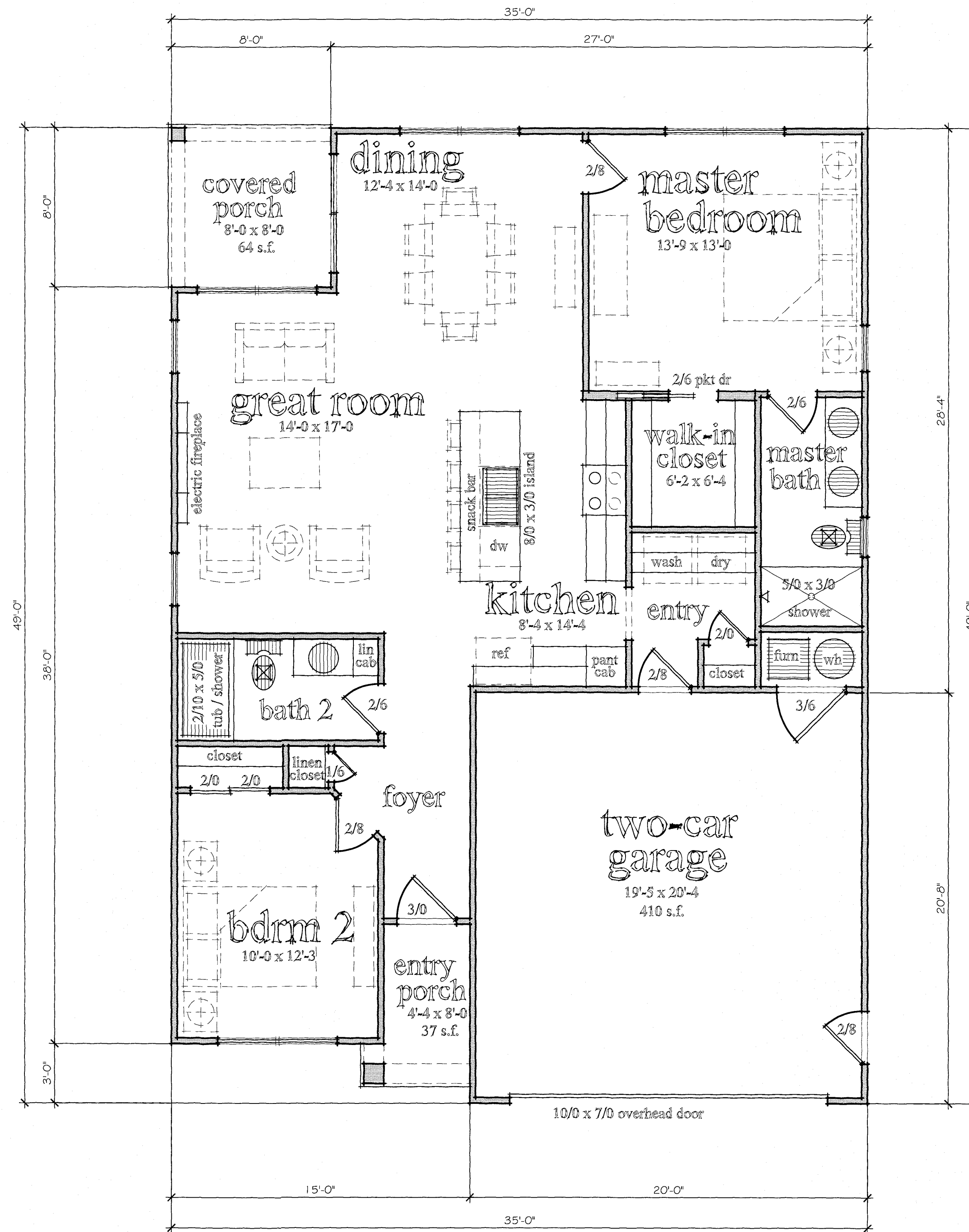
front elevation option 1
scale: 1/4"=1'-0"



front elevation option 2
scale: 1/4"=1'-0"



front elevation option 3
scale: 1/4"=1'-0"



main floor plan 1170 s.f.
scale: 1/4"=1'-0"

note:
-ceiling height to be 9'-1 1/8"
- all dimensions noted are interior and approximate

REVISIONS:

NO.	DATE	BY	DESCRIPTION

PROJECT:
THE COTTAGES
GATES MULTIFAMILY
PROJECT
GATES, NEW YORK

CLIENT:
WHITESTONE
DEVELOPMENT

DRAWING TITLE:
FRONT ELEVATIONS &
MAIN FLOOR PLAN

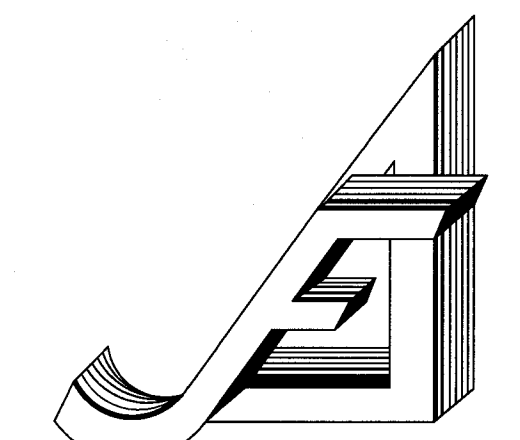
PHASE:
PRELIMINARY PLAN

JOB NO. A23-059 PROJECT NO. 10-1170-2

DRAWN BY: KAD DRAWING NO: A1.0

CHECKED BY: JRF

DATE: 6-16-2023



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