

September 13, 2023

Town of Dryden
Director of Planning - Ray Burger
93 East Main Street
Dryden, NY 13053

Dear Mr. Burger;

On behalf of Park Outdoor Advertising and property owner Dave Moore, I am pleased to submit a Sign Permit Application and supporting Special Permit Application to the Town for review and possible approval.

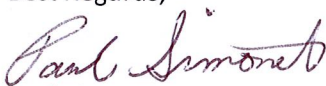
Our Application is comprised of this letter and:

- [your form] Sign Permit application
 - Site plan aerals (two)
 - Copy of lease with property owner
- General Permit Application
- General Application Worksheet
- Short Environmental Assessment form
- Notice of ground disturbance /Area Tally form
- Pictures of signs to be removed from inventory in Town of Dryden

It is requested that you initiate the required approval process to allow this permit to be approved by the Town and your office.

If you have any questions or concerns, please contact me at your convenience.

Best Regards;

A handwritten signature in dark ink, appearing to read "Paul Simonet".

Paul Simonet

Cell: 607-592-1150

Ray Burger
Director of Planning

93 East Main Street
Dryden, NY 13053
T 607 844-8888 Ext. 216
F 607 844-8008
joy@dryden.ny.us
www.dryden.ny.us



Sign Permit

Date: 9/11/23

Application

Project cost _____

1. **Applicant (print)** PARK OUTDOOR ADVERTISING phone#: (607) 257-1477
Address: POB 4680 ITHACA, NY 14852-4680
Sign Owner (if not applicant) (same) phone #: _____
Address: _____
Sign Contractor: (same) phone#: _____
Address: _____

(Attach a copy of signed contract or written consent of property owner)

2. **Type:** (check all that apply)
Existing _____ Permanent _____ Projecting Sign _____ Non-conforming existing _____ Temporary _____
New ☒ Freestanding ☒ Portable _____ Wall _____ Other _____

3. **Location:** Tax Parcel # 52-1-4-31 Address DRYDEN ROAD
Use of Building or Lot: COMMERCIAL

Describe the relationship of sign to nearby buildings, structures, street lines, property lines or landmarks. Which direction is the sign facing?

WE REQUEST TO ERECT A 2 SIDED VOR DIGITAL SIGN IN
ACCORDANCE WITH TOWN REQUIREMENTS. FACES WILL READ
EAST NORTHBOUND + SOUTHBOUND.

(A copy of a map, site or plot plan, elevation drawings at appropriate scale and photographs showing exact location, facing direction and type of sign are to be submitted with application)

4. **Design:** Describe the shape and dimensions of the sign. Identify the message, lettering, graphics, color and material. (Submit a to-scale sketch, drawings or photographs with descriptions).

If sign is to be placed upon a building façade or within a store window, submit plans & elevations of the building façade or window. Where appropriate, adjacent building facades or store windows should be included.

5. **Illumination:** If illumination is proposed, indicate method & source

Direct _____ Indirect _____ Internal _____ Overhead _____ Below _____ Spots (how many) Digital
Wattage _____ Wiring: Underground _____ Overhead _____

6. **Zoning Setback Compliance:**

Setbacks (feet): Front 5 Side 50+ Rear 50+ Frontage 200+
Will this project comply with Zoning Regulations? Yes ☒ No _____

.....

Zoning District: _____

Approval Date: _____

Denial Date: _____

Hearing Date: _____

Zoning Permit # _____

Signature of Zoning Officer & date _____

Digital Sign location

- * 800+ ft from Intersection
- * 100ft from highway asphalt
- * 5 ft from DOT ROW
- * 575+ ft from Residence

Legend

- Sign Location

Sign Location

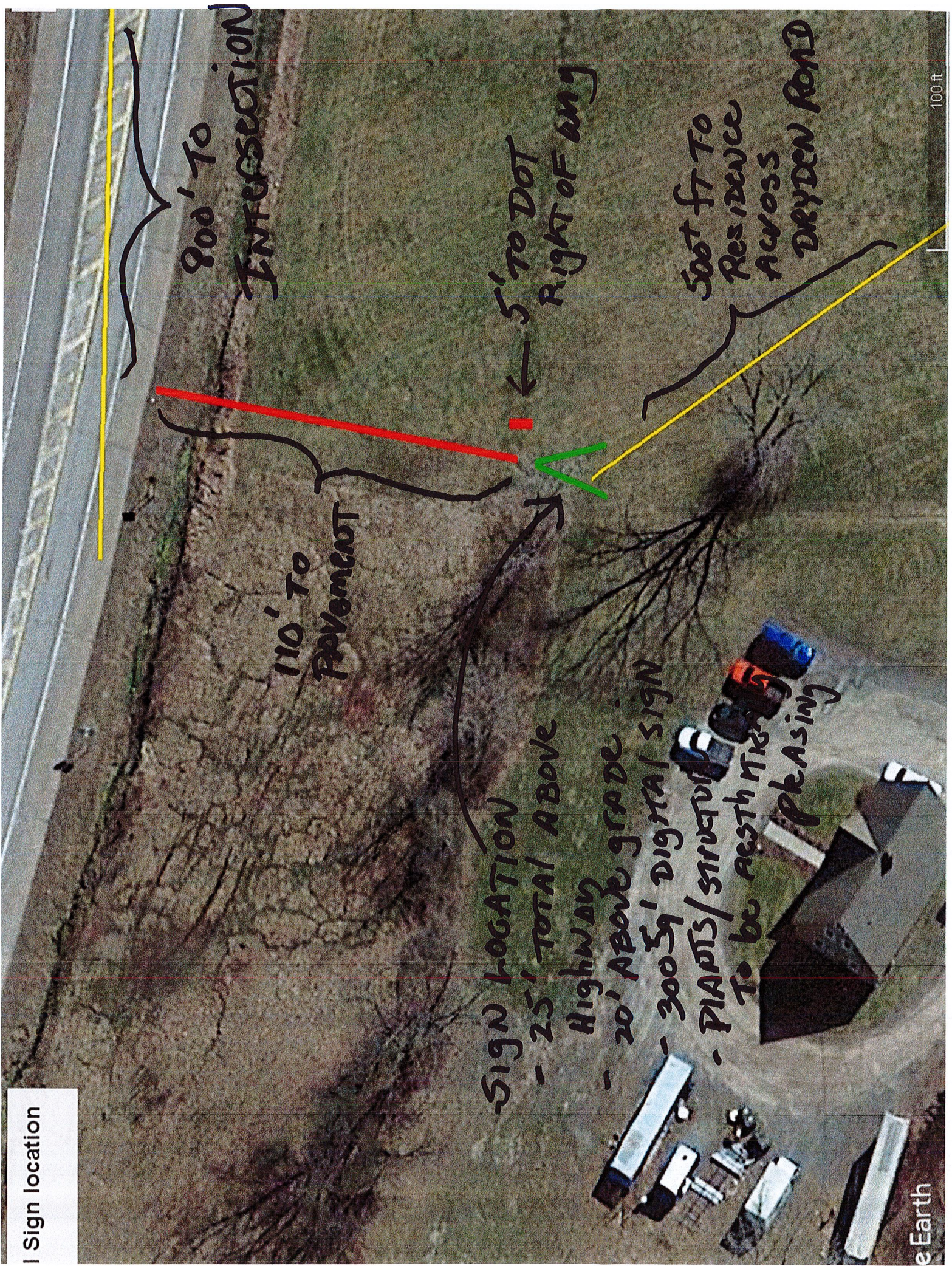
Tree Forms Amish Furniture

Google Earth

500 ft

N







Planning Department

Director of Planning, Zoning Officer
Code Enforcement Officer &
Stormwater Officer
Code Enforcement Officer

Administrative

Ray Burger
David Sprout

Shelley Knickerbocker

Joy Foster

93 East Main Street
Dryden, NY 13053

T 607 844-8888 Ext. 216
F 607 844-8008
Joy@dryden.ny.us

www.dryden.ny.us

General Permit Application – Sheet 1 General Information

DO NOT FILL IN SHADED SECTIONS

Date: 9/11/23 Tax Parcel #: 520-1-4-31 Zoning District: _____
(Complete) Project
Address: DRYDEN ROAD
Project Description: THE erection of a 2-sided vee digital sign
IN ACCORDANCE with NEW TOWN requirements
Estimated project cost: \$ 320,000
Principal Use: Residential _____ Commercial: X Other: _____
Permit(s) Required: ☐ Building ☐ Zoning ☒ Special Use ☐ Site Plan Review ☐ Subdivision ☐ Pool
☐ Heating ☐ Demolition ☐ Pre-built Shed

To be completed by Planning Department personnel:

Worksheets / sections required:

<input type="checkbox"/> Site Plan Sketch Fee: \$250	<input type="checkbox"/> Driveway or Roadcut Compliance
<input type="checkbox"/> Site Plan Review (See Fee Schedule)	<input type="checkbox"/> Notices and Disclaimer Acknowledgement
<input type="checkbox"/> Special Use Permit (See Fee Schedule)	<input type="checkbox"/> Agricultural Data Statement
<input type="checkbox"/> Notice of Ground Disturbance	<input type="checkbox"/> County Review
<input type="checkbox"/> Zoning Permit Fee: \$25	<input type="checkbox"/> Minor Subdivision Fee: \$25
<input type="checkbox"/> Varna Compliance Worksheet	<input type="checkbox"/> Major Subdivision (See Fee Schedule)
<input type="checkbox"/> Residential Design Guidelines Compliance	<input type="checkbox"/> Demolition
<input type="checkbox"/> Commercial Design Guidelines Compliance	<input type="checkbox"/> Lot line Adjustment
<input type="checkbox"/> Sign Compliance Worksheet	

Notes:

Permit Application - Contact Information

Owner - Print name & complete mailing address: PARK OUTDOOR ADVERTISING
PO BOX 4680 ITHACA, NY 14852-4680

Owner Signature required & dated: Paul Simonet for POA 9/13/23

Address: PO Box 4680 City: ITHACA State: NY Zip Code: 14852-4680

E-mail: PE.Simonet378@gmail.com Telephone No: (607) 257-1477

Emergency Contact: PAUL SIMONET Telephone No.: (607) 592-1156

Agent / Applicant - Print: _____

Address: _____ City: _____ State: _____ Zip Code: _____

E-mail: _____ Telephone No: _____

General Contractor: PARK OUTDOOR License # _____

Address: (same) City: _____ State: _____ Zip Code: _____

E-mail: _____ Telephone No: _____

Mason Contractor: _____ License # _____

Address: _____ City: _____ State: _____ Zip Code: _____

E-mail: _____ Telephone No: _____

Electrical Contractor: _____ License # _____

Address: _____ City: _____ State: _____ Zip Code: _____

E-mail: _____ Telephone No: _____

HVAC Contractor: _____ License # _____

Address: _____ City: _____ State: _____ Zip Code: _____

E-mail: _____ Telephone No: _____

Plumbing Contractor: _____ License # _____

Address: _____ City: _____ State: _____ Zip Code: _____

E-mail: _____ Telephone No: _____

Surveyor: _____ License # _____

Address: _____ City: _____ State: _____ Zip Code: _____

E-mail: _____ Telephone No: _____

Note: The Town of Dryden will keep your contact information private.

* *CUT: _____ **

Application from _____ for _____

Project Site _____ received on _____

Payment received \$ _____ Cash _____ Check # _____ Credit Card (circle one)

Signature of receiver _____ Date _____

General Permit Application Worksheet - Special Use Permit

Below or on a separate sheet, or in a letter of application, please provide the information required in the list below. All Special Use Permits require Site Plan Review, and applications must proceed beyond Sketch Plan Review in that procedure in order to be approved. The Town Board may waive further Site Plan Review based upon the Sketch Plan (see Site Plan Review Worksheet)

As you can see from the requested information, Special Use Permits are allowed uses so long as they are not disruptive to neighboring properties. The actual performance of the site with regard to traffic, lighting etc. is addressed in the Site Plan Review process. The Town Board may, and likely will, condition any approval to ensure this compatibility (letter E. below). These conditions often have to do with hours of operation, lighting, signs, and outdoor storage that will also have to be shown on the approved Sketch Plan, or Site Plan (if required).

- A. Compatibility of the proposed use with the other permitted uses in the district and the purposes of the district set forth in this Ordinance;

Please refer to the Zoning Ordinance (Section 400) and review the descriptions of the zoning districts. These generally describe the intent of the district. Your application should refer to the proper description and state why your proposed project is compatible with the intent of the zoning district.

A Review of The Commercial District indicates sign will be compatible with existing area and intent of commercial zoning. Buildings are actively commercial. Lighting from Highway, signs, parking areas, active nighttime commercial use all seem in keeping with our sign being nearby.

- B. Compatibility of the proposed use with adjoining properties and with the natural and manmade environment;

This requirement is concerned with compatibility with neighbors, and the environment. This is mainly concerned with the over use of the property, and appearance. Essentially how does the proposal blend in with the existing neighborhood?

THE AREA IS COMMERCIAL IN NATURE. IT IS ONE OF THE MAIN HUBS FOR COMMERCIAL ACTIVITY IN THE TOWN. THE SIGN IS COMPATIBLE WITH ITS PROPOSED NEIGHBORS.

- C. Adequacy of parking, vehicular circulation, and infrastructure for the proposed use, and accessibility for fire, police, and emergency vehicles;

Here, describe how utilities (phone, gas, water, sewer, etc.) will serve the site. And a basic description or reference to the Site Plan Review documents with regard to parking and circulation.

THE ONLY UTILITY REQUIRED IS ELECTRICITY. THERE IS EXISTING POWER WITHIN CLOSE PROXIMITY.

- D. The overall impact on the site and its surroundings considering the environmental, social and economic impacts of traffic, noise, dust, odors, release of harmful substances, solid waste disposal, glare, or any other nuisances;

The potential environmental impacts, or not, of the project should be described here, along with the ways that these impacts will be lessened, or made better. You may want to supply this on a separate sheet to be included in Part D. of the long Environmental Assessment Form.

THERE WILL BE NO ENVIRONMENTAL IMPACT. AMBIENT LIGHT WILL BE MINIMAL

- E. Restrictions and/or conditions on design of Structures or operation of the use (including hours of operation) necessary either to ensure compatibility with the surrounding uses or to protect the natural or scenic resources of the Town;

Here please indicate how the Site Plan and other operational approaches will reduce impacts, or improve, the compatibility with surrounding uses.

THE AREA IS WELL LIT AT NIGHT. THE SIGNS EXISTENCE WILL BE COMPATIBLE TO EXISTING CONDITIONS.

- F. Compliance with the requirements for site plan review, including conformity to the Town's Residential and Commercial Design Guidelines.

Please review the appropriate design guidelines and state how your project reflects the ideas included in the design guidelines such as vegetation along roadway, peaked roof, lighting, parking on side or in the rear of the building etc.

*THE SIGN ARCHITECTURE will be in keeping with
BEST PRACTICES ON REQUIREMENTS AND AESTHETICS*

Notices and Disclaimers – Signature Required

1.) Right to Farm Law

Be advised:

"This property may border a farm, as defined in Town of Dryden Local Law #1 of the year 1992, a Local Law known as "Right to Farm Law." Residents should be aware that farmers have the right to undertake good or acceptable farm practices which may generate dust, odor, smoke, noise, and vibration."

Amendment #12, Local Law #1 of 1992, "Right to Farm Law" Adopted by Dryden Town Board July 14, 1992, Resolution #130. Local Law #1 of 1992. Effective July 20, 1992.

Enforcement

The Town of Dryden will strictly enforce all requirements and regulations of both the N.Y.S. Building & Fire Prevention Code and the Town of Dryden Zoning Ordinance. The following is the general policy of the Town of Dryden Planning Department.

- 1) No Building Permits will be issued to any applicant until such time that all other required permits, certificates and documents have been submitted to this office and found to be acceptable and complete.
- 2) No Public Hearings or Town Review will be scheduled for any purpose until this office has reviewed and found that all application and supporting documents are accurate and complete.
- 3) If at any time prior to the issue of an above permit or authority to proceed has been granted, it is found that construction or occupancy has begun or taken place, the violator, and property owner may be prosecuted in a court of law.
- 4) If after permits have been issued a permit holder takes occupancy, opens its doors to the public or uses a permitted device without obtaining a Certificate of Occupancy or Certificate of Compliance, the holder of that permit may be prosecuted in a court of law.

- 5) The Town of Dryden will not tolerate a violation of either the Dryden Town Zoning Ordinance or the New York State Building and Fire Prevention Code. Action will be taken against all violators.
- 6) **Inspections are required** per inspection sheet. A ***mandatory final inspection*** is required from the Town of Dryden Code Enforcement Officer, to close out permit and to allow use. Permits expire one year from date of issue and will need to be renewed by applicant and a fee of one-half of the permit fee at time of issue will be due. Demolition permits expire six months after issue.

Fees

- 1) FEES MUST BE SUBMITTED WITH THIS APPLICATION
- 2) You are responsible for complying with these terms and conditions.
- 3) All plans that are for Commercial Use or are more than 1500 Sq. Ft. of usable space in single-family construction must be stamped by a N.Y.S. Licensed Architect or Engineer as to code and construction compliance.

Special Use Permit Fee: \$165

Planned Unit Development SUP: \$250

Large Scale Retail Development SUP: \$250

Escrow

Reimbursable Costs, fees and disbursements. The reasonable and necessary costs, fees or disbursements incurred by the Town or its officials for consultation or review by professionals including architects, landscape architect, engineers, surveyors, attorneys or others, on any Application for a Zoning Permit, Certificate of Occupancy, Appeal to the Zoning Board of Appeals, Application for Subdivision Approval, Application for a Planned Unit Development or application for a Special Permit or a Special Permit for a mobile home park shall be paid by the applicant.

Signature required

By signing you agree that you have read and understand and will be responsible for issued permits.

Owner or responsible party signature: Paul Linscott for Date: 9/13/23
Print name: PARKE OUTDOOR ADVERTISING

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: <div style="font-family: cursive; font-size: 1.2em;">DIGITAL SIGN (BILLBOARD)</div>			
Project Location (describe, and attach a location map): <div style="font-family: cursive; font-size: 1.2em;">1280 DRYDEN RD (TAX ID # 52.-1-4.31)</div>			
Brief Description of Proposed Action: <div style="font-family: cursive; font-size: 1.2em;">We propose A 2 SIDED DIGITAL Billboard sign be erected To Be READ From ROUTE 13 TRAFFIC, Both North AND South.</div>			
Name of Applicant or Sponsor: <div style="font-family: cursive; font-size: 1.2em;">PARK OUTDOOR ADVERTISING</div>		Telephone: <div style="font-family: cursive; font-size: 1.2em;">(607) 257-1477</div> E-Mail: <div style="font-family: cursive; font-size: 1.2em;">PE.SIMONET378@gmail.com</div>	
Address: <div style="font-family: cursive; font-size: 1.2em;">PO Box 4680</div>			
City/PO: <div style="font-family: cursive; font-size: 1.2em;">ITHACA</div>		State: <div style="font-family: cursive; font-size: 1.2em;">NY</div>	Zip Code: <div style="font-family: cursive; font-size: 1.2em;">14852-4680</div>
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input checked="" type="checkbox"/> YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: <div style="font-family: cursive; font-size: 1.2em;">NYS DOT</div>			NO <input type="checkbox"/> YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		<div style="font-family: cursive; font-size: 1.2em;">2.92</div> acres	
b. Total acreage to be physically disturbed?		<div style="font-family: cursive; font-size: 1.2em;">2.92</div> acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		<div style="font-family: cursive; font-size: 1.2em;">2.92</div> acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, <div style="margin-left: 40px;"> a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? </div> If Yes, briefly describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor/name: <u>Park Outdoor Advertising</u> Date: <u>9/13/23</u> Signature: <u>Paul Simonet</u> Title: _____		

Notice of Ground Disturbance / Area Tally Form

Please complete this form and submit to the Town of Dryden Stormwater Management Officer, David Sprout "Land Development Activity" resulting in Ground Disturbance is defined as all areas where soil will be disturbed as a result of clearing, grubbing, grading, excavating, stockpiling, placement of fill, paving, installation of utilities, and construction of buildings or structures. This form will enable Town of Dryden staff to assist applicants in meeting local stormwater standards, and it is helpful to submit this form prior to finalizing your SWPPP.

Owner's Name: PARK OUTDOOR ADVERTISING Date: 9/13/23
Phone # 607-257-1477 Mailing Address: PO Box 4680, Ithaca, NY 14852-4680
Project Site Address: 1280 DRYDEN ROAD Tax Parcel # 520-1-4-31
Project Sponsor Name (If Different than Owner): _____ Phone: _____
Address: _____

Brief Description of the Project:

WE NEED TO DIG A 10'x10'x12' CUBIC
HOLE TO MAKE A FOUNDATION FOR OUR PROPOSED SIGN

(Attach additional sheets of paper as necessary and include a project sketch)

Project and Site Characteristics (Check yes or no as appropriate)

1. Will the project involve multiple phases? ☐ YES ☒ NO If YES, how many phases? _____
2. What is the shortest distance from the project area of disturbance to the edge of any stream, pond, lake, or wetland in the vicinity of the project? 100+ feet.
3. Does the site show any field or map indicators of potential wetland presence? ☐ YES ☒ NO
Check all that are applicable:
☐ Mapped NWI Wetlands ☐ Mapped DEC Wetlands ☐ Mapped Hydric Soils
☐ Field indicators of Hydric Soils ☐ Vegetation indicative of wetlands ☐ Wetland Delineation
4. Please describe the slope on site (e.g. steep or flat areas, stream banks, gullies, bluffs etc.).
A MODEST SLOPE OF 5' PER 100' FT.
5. Will the project include a linear excavation that is more than 500 feet long and 3 feet wide? ☐ YES ☒ NO
6. Will the project involve excavation or fill resulting in the movement of more than 250 cubic yards of soil, sand, or similar material? ☐ YES ☒ NO
7. Does the project require any state or federal environmental permits? ☐ YES ☒ NO
Permit(s): _____

8. Do connected Impervious Areas exceed $\frac{1}{2}$ acre. ☐ YES ☒ NO
(If YES a Full SWPPP is required)

Town of Dryden Notice of Ground Disturbance / Area Tally Form

9. Area Tally

9A) Fill in the approximate area to be disturbed by the following, in square feet, as applicable. If it has been determined that a Full SWPPP is necessary from the Notice of Ground Disturbance, then please present this information when the final draft is complete.

Driveway _____
Parking Area _____
House / Main Building _____
Other Buildings _____
Septic System _____
Other Grading / Clearing / Lawn _____
Wells and Ditches _____
Drainage Structures _____
Utility Laying _____
Additional Area 100 sq' (for construction access, stockpiling, etc.)

Total (do not total overlapping areas): 100 sq'

9B) For subdivisions only:

Total from Above: _____ x _____ (# of lots) + _____ (road area) = _____

9C) As estimated above, the total Area of Disturbance is: 100 sq ft

10. Is more than half of the project site area over soils in Hydrologic Soil Group A, B, or C according to the Tompkins County Soil Survey? ☐ YES ☐ NO

11. Is the project redevelopment, as defined by Chapter 9 of the DEC's design manual? ☐ YES ☐ NO

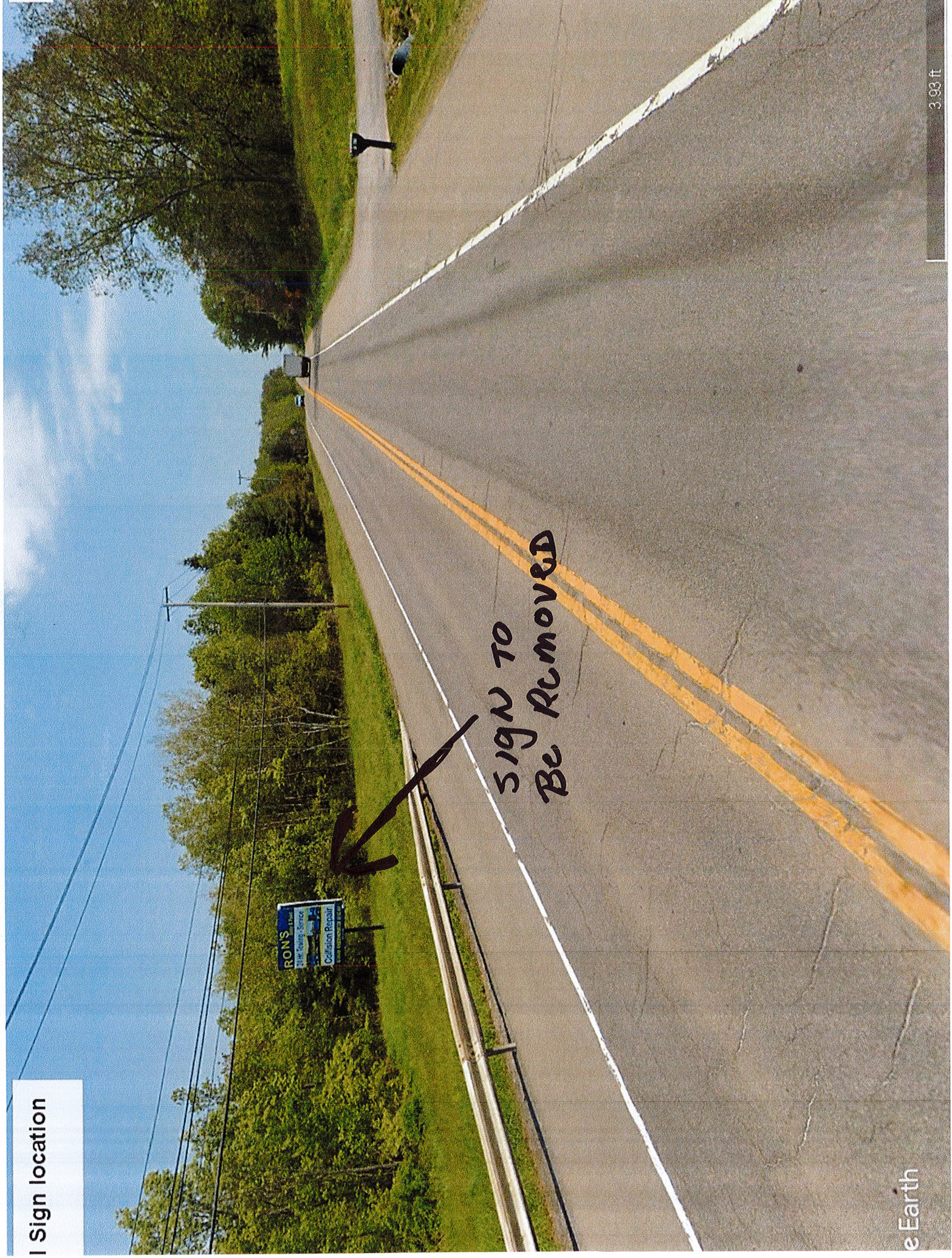
12. Total Parcel Acreage: 2.47

13. Area of existing impervious surface prior to development: 15,000

14. Total Impervious Area expected after project completion: 15,000

Signature: Paul Limont Date: 9/13/23

Sign location



To Be
Removed



To Be Removed



SIMMONS-
ROCKWELL.COM

